

**CITY OF GREENFIELD
PLANNING COMMISSION REGULAR MEETING
July 7, 2020 @ 6:00 P.M.**

Attendance and Public Comment Changes Due to COVID-19

The Greenfield Planning Commission will be conducting its regular meeting on July 7, 2020. Given the current Shelter-in-Place Order covering Monterey County and the Social Distance Guidelines issued by Federal, State, and Local Authorities, the City has implemented the following changes for attendance and public comment.

ATTENDANCE BY THE GENERAL PUBLIC

The Planning Commission meeting to be held on July 7, 2020 at 6:00 p.m. will only be accessible online. The meeting may be viewed through the following options:

- Facebook Live: <https://www.facebook.com/GreenfieldCA/>
- Zoom Meeting: Join Zoom webinar
<https://us02web.zoom.us/j/86559455342?pwd=V0RIMkg5UnRWNDYvUEovODYwS1Y4QT09>
Meeting ID: 865 5945 5342
Password: 835893

The City will also provide links to these viewing options on the City's website and on its Facebook page. Unfortunately, physical attendance by the public cannot be accommodated given the current circumstances and the need to ensure the health and safety of the Planning Commission, City staff, and the public as a whole.

PUBLIC COMMENTS AND PUBLIC HEARINGS

All public comments, including general public comments, comments on a particular item on the agenda, or comments during a public hearing, can be made by e-mail or through the Zoom videoconferencing platform. Please be aware that any public comments made, including your name, may become public information. Additional instructions for making public comments can be found below.

1. Comments by E-mail

Public comments made by e-mail must be submitted to the following e-mail address: Planning@ci.greenfield.ca.us. In the subject line of the e-mail, please state your name and the item you are commenting on. If you wish to submit a public comment on more than one agenda item, please send a separate e-mail for each item you are commenting on. Please be aware that any public comments received that do not specify a particular agenda item will be read aloud during the general public comment portion of the agenda.

For general public comments all public comments must be received by e-mail no later than 6:00 p.m. on July 7, 2020. For public comment on a public hearing (Item G-1), all public comments must be received by the close of the public hearing period. Comments received by the applicable deadline for submitting e-mail comments will be read aloud by a staff member during the agenda item or public hearing, provided that such comments may be read within the normal three (3) minutes allotted to each speaker. Any portion of your comment extending past three (3) minutes may not be read aloud due to time restrictions. If a comment is received by the City after the applicable deadline for e-mail comments, efforts will be made to read your comment into the record. However, staff cannot guarantee that written comments received after the applicable deadline will be read. All written comments that are not read into the record will be made part of the meeting minutes, provided that such comments are received prior to the end of the Planning Commission meeting.

2. Comments by Zoom Videoconferencing

To make a public comment by Zoom videoconferencing, please be aware of the following rules:

- This is an official Planning Commission meeting
- This meeting is being monitored
- This meeting is being stream live on other platforms
- This meeting is being recorded.
- This meeting will follow the agenda which can be found on the City website
- Citizens viewing this meeting will be on “mute” until granted to speak.
- Those wishing to speak may” raise their hand” and the Host will unmute you at the appropriate time

Please be aware that comments made by Zoom videoconferencing shall be limited to three (3) minutes per speaker. Additional information regarding Zoom videoconferencing and use of the Zoom videoconferencing platform may be found at <https://zoom.us/>.

The City thanks you for your cooperation in advance. Our community’s health and safety is our highest priority.



City of Greenfield

Greenfield Civic Center
599 El Camino Real
Greenfield, CA 93927

Planning Commission Meeting

Agenda

July 7, 2020

6:00 P.M.

CHAIR STEPHANIE GARCIA

VICE CHAIR TINA MARTINEZ

COMMISSIONER ERNEST GALLARDO

COMMISSIONER ROBERT URQUIDES

COMMISSIONER DAVID MENDOZA

AGENDA & ORDER OF BUSINESS

A. CALL TO ORDER

B. ROLL CALL

C. PLEDGE OF ALLEGIANCE

D. PUBLIC COMMENTS FROM THE AUDIENCE REGARDING ITEMS NOT ON THE AGENDA

E. ADOPTION OF THE JUNE 2, 2020 PLANNING COMMISSION MINUTES [Page 1](#)

F. PUBLIC HEARING

1. Design Review for three new Tesla supercharging units, twelve new Tesla charging post within a 6,000 square foot portion of the Santa Lucia Square Shopping Center, near the existing Burger King located at 560 Walnut Avenue (APN: 024-021-027) [Page 5](#)

G. COMMENT FROM PLANNING COMMISSION AND STAFF

H. ADJOURNMENT

CALL TO ORDER

Chair Garcia called the meeting to order at 6:03 p.m.

ROLL CALL

Present: Chair Stephanie Garcia, Vice-Chair Tina Martinez, Commissioner Ernest Gallardo
and Commissioner Robert Urquidez

Absent: None

Staff: Community Development Director Paul Mugan, Deputy City Clerk Desiree Gomez,
Consulting Planners Rob Mullane and Shaveta Sharma

Guest: None

PLEDGE OF ALLEGIANCE

All recited the Pledge of Allegiance.

PUBLIC COMMENTS FROM THE AUDIENCE/STAFF ON ITEMS NOT ON THE AGENDA

No comments were received.

ADOPTION OF THE MAY 5, 2020 PLANNING COMMISSION MINUTES

A **Motion** by Vice-Chair Martinez, seconded by Commissioner Urquidez to approve the adoption of the May 5, 2020 Planning Commission Minutes. All in favor. Motion carried.

SWEARING IN OF NEW COMMISSIONER

Deputy City Clerk Gomez swore in new Commissioner, David Mendoza.

PRESENTATIONS

ITEM G-1

ORAL REVIEW OF CURRENT PROJECTS

Community Development Director Mugan gave a brief updated overview of Nino Homes, Yanks Air Museum and the Cannabis Industry.

Chair Garcia opened public comment at 6:15 pm.

No comments were received.

Chair Garcia closed public comment at 6:16 pm.

PUBLIC HEARING

ITEM H-1

DESIGN REVIEW OF REPLACEMENT GREENHOUSES FOR LOUDPACK AT 900 CHERRY AVENUE

Consulting Planner Mullane gave staff report.

Chair Garcia opened public hearing at 6:42 pm.

A submitted letter, attached, received from Ceres Labs Founder & CEO, Sachin Barot, was read into the record by Chair Garcia. The letter indicated the support of both LoudPack's proposal and the City's desire to pursue projects that were consistent with the General Plan.

A submitted comment by email, attached, received from Greenfield resident, John Huerta, Jr., was read into the record by Chair Garcia. Mr. Huerta's email indicated he fully supported LoudPack's application for the installation of five greenhouse buildings to replace the ones that were lost in the 2018 fire.

Amy White, Operations Manager for Ceres Labs, stated they were the only Cannabis Compliance Analyst in the Monterey County, which LoudPack was a critical component to the industry and encouraged Planning Commission to recommend approval.

Chair Garcia closed public hearing at 6:16 pm.

Commissioner Gallardo was concerned about fire prevention and asked the applicant if they would be installing fire sprinklers in the new greenhouses along with the existing greenhouses. The applicant, Sachin Barot, stated the new greenhouses would have fire sprinklers, but the existing ones would not.

Commissioner Mendoza questioned the high-pressure sodium lights and wattage usage for the new greenhouses. Sachin Barot stated he did not have the information but would be happy to provide it.

A Motion by Vice-Chair Martinez, seconded by Commissioner Gallardo to approve Resolution No. 2020-006 recommending the City Council grant Design Review approval of the proposed replacement greenhouses totaling 56,361 square feet and the associated lot line adjustments. **AYES:**

Chair Garcia, Vice Chair Martinez, Commissioners Gallardo and Urquides. NOES: Commissioner Mendoza. ABSENT: None. Motion carried.

BUSINESS

ITEM I-1

REVIEW OF THE DOWNTOWN STREETScape PLAN

Consulting Planner Sharma gave staff report.

Chair Garcia opened public comment at 7:10 pm.

No comments were received.

Chair Garcia closed public comment at 7:11 pm.

Planning Commission accepted report.

ITEM I-2

REVIEW, USE AND UTILITY OF DISCRETIONARY DESIGN REVIEW

Consulting Planner Mullane gave staff report.

Chair Garcia opened public comment at 7:35 pm.

No comments were received.

Chair Garcia closed public comment at 7:36 pm.

Planning Commission accepted report.

ITEM I-3

APPLICATION OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

Community Development Director Mugan gave staff report.

Chair Garcia opened public comment at 8:09 pm.

No comments were received.

Chair Garcia closed public comment at 8:10 pm.

Planning Commission accepted report.

ITEM J-1

PLANNING COMMISSION PROTOCOLS AND TRAINING

Community Development Director Mugan gave staff report.

Chair Garcia opened public comment at 8:20 pm.

No comments were received.

Chair Garcia closed public comment at 8:21 pm.

Planning Commission accepted report.

COMMENTS FROM PLANNING COMMISSION AND STAFF

Commissioner Gallardo stated he noticed people without face masks because they could not afford them and suggested the City purchase face masks and provide them to the public.

Commissioner Urquidez and Chair Garcia agreed with Commissioner Gallardo.

ADJOURNMENT

Chair Garcia adjourned the meeting at 8:28 pm.

Chair of the Planning Commission

Secretary of the Planning Commission



Planning Commission Memo

599 El Camino Real Greenfield CA 93937 831-674-5591
www.ci.greenfield.ca.us

DATE: July 7, 2020
AGENDA DATE: June 30, 2020
TO: Planning Commissioners
PREPARED BY: Shaveta Sharma, Consulting Planner
TITLE: **DESIGN REVIEW OF TESLA SUPERCHARGING STATION AT
560 WALNUT AVENUE**

AUTHORITY AND PROCEDURES

Design Review

Section 17.10.040 of the City's Zoning Code sets forth the responsibilities of the Planning Commission. Those responsibilities include, among others, hearing and deciding applications for design review, for which the Planning Commission is the designated approving authority. The Zoning Code requires design review for all non-residential development. The purpose of design review is set forth in Section 17.16.070.A of the Zoning Code, which states:

The purpose of the design review process is to promote the orderly and harmonious growth of the city, to encourage development in keeping with the desired character of the city; to ensure physical, visual, and functional compatibility between uses; and to help prevent the depreciation of land values by ensuring proper attention is given to site and architectural design.

It is the responsibility of the Planning Commission to "approve, conditionally approve, or deny the proposed design review application." As part of the design review process, the Planning Commission may require that "the applicant modify plans in whole or in part and may condition the design review approval to ensure inclusion of specific design features, use of specific construction materials, and conformance with all applicable provisions of this Title" (Section 17.16.070.F).

Section 17.16.070.E requires that design review approval or any modification thereto may be granted only when the Planning Commission makes all of the following findings:

1. Any two-story construction requires notification of the property owners pursuant to Section 17.14.040, “Public Notices,” of this Title;
2. The proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan provisions, planned unit development provisions, applicable City design guidelines, and improvement standards adopted by the City;
3. The proposed architecture, site design, and landscape design are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and the community;
4. The architecture , including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties;
5. The proposed project addresses vehicular, bicycle, and pedestrian transportation modes of circulation; and
6. For specific plans and planned unit development design review application, the proposed project is well integrated with the city’s street network, creates unique neighborhood environments, employs architectural design that fosters sense of community, and contributes to a pedestrian oriented environment.

PROJECT DESCRIPTION

W Y Heritage Gove, LLC, the property owner, and Tesla, the applicant of the proposed supercharging station at 560 Walnut Avenue (APN: 024-021-027), have submitted an application for the installation of three supercharging cabinets, twelve charging posts, a switchgear, two light posts, and a utility transformer. The proposed improvements will be located in a portion of the parking lot for the Santa Lucia Square Shopping Center in the area of the center closest to Burger King.

The following table provides a comparison of the number of stalls to be removed and replaced as part of the proposal.

Table 1. Comparison of Prior Parking Stall and Proposed Replacement Stalls

	No. of affected stalls	Total No. of Stalls
Stalls removed	19	383
Stalls replaced	14	378
Net Difference	-5	-5

While the replacement stalls would be located in the same general area, they would have a different footprint than the existing stalls, such that the proposed replacement stalls will result in a net

decrease of five stalls. The plan set, which includes the site plan, floor plan, and elevations are included as Attachment 2.

PROJECT ANALYSIS

Location

The proposed project is located at 560 Walnut Avenue (see Figure 1 below). The project site is zoned Highway Commercial (C-H) and is bounded by the US-101 Freeway to the west, Greenfield School District to the south, and residential uses to the east, and the north. Surrounding properties within the City are primarily zoned Residential and Public Quasi-Public.

Figure 1 –Location Map



CONFORMANCE WITH GENERAL PLAN AND ZONING CODE

The proposed project is a minor modification to the 383-space parking lot. The provide will provide needed electric vehicle charging facilities at a location that allows people using the

charging station to shop or eat at the businesses within the shopping center. No substantial change in use is proposed, and the project does not present any conflicts with general plan and zoning code requirements.

Parking: The loss of five of the 383 parking spaces in the shopping center parking lot corresponds to 1.3% decrease in available parking. Staff notes that the parking lot maintains an adequate number of parking spaces, even during peak demand times. The minor changes in parking capacity are not anticipated to result in new impacts. Nor are parking impacts to neighboring properties or the street anticipated. The minimal parking stall decrease is not expected to impact the operations of the shopping center, and instead is expected to benefit the shopping center's tenants through the introduction of new customers.

Circulation: Vehicular access to the property is from two entrances along Walnut Avenue. It provides access for cars parking on the site as well as on-site deliveries. Other than minor construction-phase impacts, the proposed project would have no impact on circulation into and out of the site.

Signage: Signage is proposed as part of this project, the proposed signage will be reviewed administratively.

Lighting: Two light posts are proposed as part of this project, the proposed lighting will be reviewed again at the building permit stage to ensure compliance with the Municipal Code.

CEQA

The project is exempt from CEQA, pursuant to Section 15301 of the State Guidelines. This categorical exemption applies to minor alterations to existing facilities. The project does not present any unusual circumstances that could present significant environment impacts.

RECOMMENDATION

It is recommended the Planning Commission adopt the attached resolution approving the proposed supercharging stations and replacement stalls.

PROPOSED MOTION

I MOVE THAT THE PLANNING COMMISSION OF THE CITY OF GREENFIELD ADOPT RESOLUTION NO. 2020-07 APPROVING DESIGN REVIEW FOR THE PROPOSED SUERCHARGING STATION AT 560 WALNUT AVENUE, SUBJECT TO THE CONDITIONS OF APPROVAL IN EXHIBIT A

ATTACHMENTS

1. Planning Commission Resolution No. 2020-07
2. Exhibit A (COA)
3. Plan Set

**CITY OF GREENFIELD PLANNING COMMISSION
RESOLUTION NO. 2020-07**

**RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF GREENFIELD APPROVING
DESIGN REVIEW FOR THE 560 WALNUT
AVENUE TESLA SUPERCHARGING PROJECT**

WHEREAS, an application for design review approval for the installation of a Tesla Supercharging station at 560 Walnut Avenue, has been submitted to the City of Greenfield by W Y Heritage Grove, LLC and Tesla on June 17, 2020; and

WHEREAS, Section 17.16.070 of the City of Greenfield Zoning Code requires design review for all nonresidential development, including industrial development; and

WHEREAS, the design review application is for a supercharging station within an existing retail development, which falls within the category of commercial development; and

WHEREAS, the design review application and was considered by the Planning Commission at a duly-noticed public hearing on July 7, 2020; and

WHEREAS, the project is exempt from CEQA, pursuant to Section 15301 of the State CEQA Guidelines;

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Planning Commission of the City of Greenfield has considered all written and verbal evidence regarding this design review application at the public hearing and has made the following findings pursuant to Section 17.16.070 regarding the proposed development:

1. **FINDING:** That the proposed development is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan provisions, planned unit development provisions, applicable city design guidelines, and improvement standards adopted by the City.
 - a. The proposed site is designated by the general plan for commercial uses and is in the C-H, Highway Commercial zoning district. Commercial uses of the type proposed are allowed uses in these general plan and zoning code districts.
 - b. The proposed project is consistent with general plan policies that call for the recruitment of businesses, industries, and other employers whose operations are consistent with long-term economic development goals of the City; the proposed project provides new tourists and drivers to further the City's retail and commercial businesses.
 - c. The general plan encourages development of commercial and industrial uses that are consistent with the scale and character of surrounding land uses. The proposed project will enhance the existing parking lot by introducing new users and customers.
 - d. The site plans and building drawings for the proposed project conform to the zoning code requirements and commercial development standards for the Highway Commercial Zoning District relating to lighting and parking.

2. FINDING: That the proposed site design, and lighting design are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and the community.
 - a. The site design is in conformity with the requirements of the zoning code and is an appropriate site layout for a commercial shopping center.

3. FINDING: That the architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.
 - a. Exterior lighting proposed will be appropriate for the type and scale of the proposed commercial development and the signage requirements of Chapter 5.28 of the municipal code.

4. FINDING: That the proposed project addresses vehicular, bicycle, and pedestrian transportation modes of circulation.
 - a. The proposed project continues to provide parking and does not result in a substantial impact on availability of parking. It has no effect on bicycle access or parking and meets other requirements of the zoning code.
 - b. Primary vehicle access is from Walnut Avenue.

5. FINDING: That the project is exempt from CEQA, pursuant to Section 15301 of the State Guidelines, such that no further CEQA review is required.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission of the City of Greenfield approves the proposed design review in accordance with the requirements of Sections 17.16.070 of the City of Greenfield Municipal Code, subject to conditions of approval included as Exhibit A attached to the Resolution.

PASSED AND ADOPTED by the Planning Commission of the City of Greenfield, at a regularly scheduled meeting of the Planning Commission held on the 7th day of July 2020, by the following vote:

AYES, and all in favor, therefore, Commissioners:

NOES, Commissioners:

ABSENT, Commissioners:

Stephanie Garcia, Chairperson

Attest:

Desiree Gomez, Secretary

**PLANNING COMMISSION RESOLUTION NO. 2020-07
EXHIBIT A**

560 WALNUT AVENUE DESIGN REVIEW

GENERAL

1. The project applicant shall comply with all provisions of the approved Design Review, all pertinent provisions of the Municipal Code, including, but not limited to applicable provisions of Title 19 “Impact Mitigation Fees” for sewer, water, traffic and police services, as well as payment to the School District for school impact fees. No work shall commence on the subject property until issuance of the associated Building Permit, unless otherwise approved by the City Engineer and Building Official.
2. The Approved Development consists of an installation of three supercharging cabinets, twelve charging posts, a switchgear, two light posts, and a utility transformer, and trenching for the installation of new utility connections.
3. The use shall be conducted in compliance with all appropriate Local, State, and Federal laws and regulations, and in conformance with the approved plans.
4. The issuance of a permit or approval of plans and specifications shall not be construed as a permit or an approval of any work that violates the Greenfield Municipal Code.
5. Modifications to the project or to the conditions imposed may be considered in accordance with the City Zoning Ordinance. All revisions shall be submitted to the Building Division prior to field changes and are to be clouded or otherwise identified on the plans submitted with the request for modification.
6. Minor plan changes shall be subject to review and approval by the Community Development Director and/or City Engineer as appropriate, prior to implementation. Major plan changes may also require review and approval of the Planning Commission and/or City Council. The Community Development Director shall determine whether review and approval by the Planning Commission and/or City Council is required.
7. All landscaping shall utilize drought tolerant species, water efficient drip or micro-spray irrigation systems, and comply with all water conservation regulations issued by the State Water Resources Control Board. Street trees shall be 24-inch box trees with an average spacing of not less than twenty five feet on center. Street trees shall be maintained by the applicant in good health and replaced if deemed necessary by Community Development Department staff.
8. All utility easements shall be depicted on the construction plans on file to meet the requirements of the utility companies and the Director of Public Works and/or City Engineer.

9. This Design Review shall expire three years from the date of final approval, or on July 7, 2023, and become null and void, unless exercised through the issuance of the associated Building Permit.

PRIOR TO THE ISSUANCE OF GRADING AND BUILDING PERMITS

10. The Building Permit submittal set shall include on one or more full size sheets these conditions of approval and shall reference the associated approving resolution number and date.
11. Should any landscaping be proposed, a final landscape plan shall be included with the Building Permit submittal. The final landscape plan shall meet all requirements for final landscape plans as set forth in Chapter 17.54 of the City Municipal Code and shall include the necessary documentation for compliance with the City's Model Water Efficiency Ordinance.
12. The project plans shall include the proposed exterior lighting with the Building Permit submittal for City review and approval.
13. Any proposed signage must be submitted for sign permit approval.
14. The project applicant shall submit the Building Permit application for City review and approval and shall pay all costs associated with preparation of the Building Permit application and issuance of the Building Permit.
15. All utilities shall be placed underground. Any associated easements for structures shall be shown on the construction plans.

DURING CONSTRUCTION AND PRIOR TO FINAL BUILDING INSPECTION

16. Construction activities shall be limited to daylight hours between 7:00 a.m. and 6:00 p.m. excluding Saturdays, Sundays, and holidays. The developer may request in writing from the Community Development Director or Public Works Director, as applicable, authorization for construction activities on other than weekdays. If any extremely loud noises (noises which exceed the NUC General Performance Standards for noise, section 17.54.030 of the City municipal code) are to occur and are known of beforehand (i.e., continuous drilling and/or large earthmoving 24-hour notice shall be given to all neighbors within 500 feet of the project site, as well as posting a notice on site.
17. The project applicant shall obtain an Encroachment Permit from the Public Works Department for all work constructed in the public right-of-way. This permit shall be obtained prior to commencement of any work in the public right-of-way.
18. Trash, scrap and debris shall be stored in a container(s) on the construction site. Bins shall be provided by the contractor if self-haul, otherwise by Tri-Cities Disposal, the exclusive trash, scrap, and debris hauler franchisee in the City of Greenfield.

19. No person shall place or maintain a container in the public right-of way without an Encroachment Permit.
20. No person shall place, install or maintain a portable sanitary facility on a construction site closer to the property line than the building setback line.
21. The City may temporarily prohibit or restrict stopping, parking or standing of vehicles along a street abutting a construction project where necessary for public safety. Any such parking restriction shall not be effective until the City places a sign(s) or marking(s) at the site. Any such parking restriction shall be limited to the duration of the project.
22. The City may designate a truck route for ingress and egress from the property during the term of the building permit to minimize the impact of the construction such as noise, dust, traffic safety hazards and potential damage to pavement on a residential street; provided designation of the truck route will not unreasonably impair the contractor's access to the site or cause undue economic hardship.
23. Construction sites within the entire project area shall be watered each day during construction and all unpaved roads shall be watered twice a day during grading activities to minimize the generation of fugitive dust. In addition, travel on unpaved roads in the construction area shall be limited to 15 miles per hour or less. All stationary and mobile construction equipment shall be properly maintained to minimize exhaust during construction.
24. All rubbish and dead vegetation shall be removed from the site prior to final inspection by the Building Official.
25. The project applicant shall post a publicly visible sign that specifies the telephone number and person to contact regarding dust and other construction related complaints. This person shall respond to complaints and take corrective action within 48 hours. The phone number of the Monterey Bay Unified Air Pollution Control District shall be visible to ensure compliance with Rule 402 (Nuisance).
26. The site shall be properly maintained during construction or a Stop-Work Order will be issued by the Building Official (i.e., refuse shall be discarded promptly, construction materials shall be neatly stored, and the public right-of-way shall not be encroached upon).
27. All grading within the boundaries of the project area shall be done under the direction and supervision of a soils engineer. Upon completion of all grading, a final soils report shall be submitted to the Public Works Department by the soils engineer. The report shall include locations and elevations of field density tests, summaries of field and laboratory tests, and any other substantiating data developed by the soils engineer.
28. If, during the course of construction, cultural, archaeological, historical, or paleontological resources are uncovered at the site (surface or subsurface resources), work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional

archaeologist can evaluate it. The Community Development Director or Public Works Director, as appropriate, and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery, prior to the City authorizing the resumption of grading activities.

29. In the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the coroner of Monterey County has determined whether the remains are subject to the coroner's authority. This is in accordance with Section 7050.5 of the California Health and Safety Code. If the human remains are of Native American origin, the coroner must notify the Native American Heritage Commission within 24 hours of identification. Pursuant to Section 5097.98 of the Public Resource Code, the Native American Heritage Commission will identify a "Native American Most Likely Descendent" to inspect the site and provide recommendations for the proper treatment or disposition of the remains and any associated grave goods.
30. A final certificate of occupancy shall not be issued until all punch-list items identified by the Building Official and Project Planner during the final inspection are complete and accepted to the satisfaction of the Building Official, final Fire Department approvals have been received, and all project close-out documents required under any development agreement, the City Municipal Code, and these conditions of approval have been received and accepted by the City.

ONGOING OPERATIONAL CONDITIONS

31. All structures and any proposed landscaping, and other improvements shall adhere to the approved plans, including the final landscape plans and shall be maintained in good condition as an on-going requirement. Swap out of materials, colors, and landscaping species shall not occur without prior written City approval. Any deficiencies noted by City staff shall be addressed within 30 days of written notice of non-compliance by the City.

TESLA



GREENFIELD, CA

**SITE ADDRESS:
560 WALNUT AVE
GREENFIELD, CA 93927**



3500 DEER CREEK ROAD
PALO ALTO, CA 94304
(650) 681-5000



Dewberry Engineers Inc.
100 OCEANGATE
SUITE 400
LONG BEACH, CA 90802
PHONE: 562.350.0570



TANJA BRIX, P.E.
CALIFORNIA LICENSE No. C61498

SITE INFORMATION	APPLICABLE CODES	PROJECT DESCRIPTION	JURISDICTION INFORMATION	DRAWING INDEX	
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PROPOSED TESLA EV SITE ADDRESS:
560 WALNUT AVE
GREENFIELD, CA 93927

PROPERTY OWNER:
WY HERITAGE GROVE LLC
WENDA WANG
wendo@wyheritagegrove.com
(408) 896-5538

PARCEL ID:
APN: 024-021-027-000

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA BUILDING & ENERGY CODES, CONSISTENT WITH THE FOLLOWING CODES:

CALIFORNIA BUILDING CODE 2019.
CALIFORNIA ENERGY CODE 2019.
CALIFORNIA ELECTRICAL CODE 2019.
2017 NATIONAL ELECTRIC CODE (NEC).

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

- INSTALL (3) TESLA SUPERCHARGER CABINETS
- INSTALL (12) TESLA CHARGING POSTS
- INSTALL (1) 1600A, 277/480V SWITCHGEAR
- INSTALL (1) UTILITY TRANSFORMER
- INSTALL (2) DUAL HEADED LIGHT POSTS

PERMITTING JURISDICTION: GREENFIELD, CA
APN: 024-021-027-000

SHT. NO.	SHEET TITLE
T-1	TITLE SHEET
GN-1	GENERAL NOTES I
GN-2	GENERAL NOTES II
C-1	SITE PLAN
C-2	DEMOLITION PLAN
C-3	EQUIPMENT & PARKING PLAN
C-4	CONSTRUCTION DETAILS I
C-5	CONSTRUCTION DETAILS II
E-1	ELECTRICAL RISER DIAGRAM & CIRCUIT SCHEDULE
G-1	GROUNDING SCHEMATIC & DETAILS

DRAWN BY:	JC
CHECKED BY:	DER
APPROVED BY:	BBR
PROJECT #:	50123704
JOB #:	50127325

POWER COMPANY:
PG&E
MATT NELSON
MGN4@PGE.COM
(209) 726-6317
PROJECT #35157610

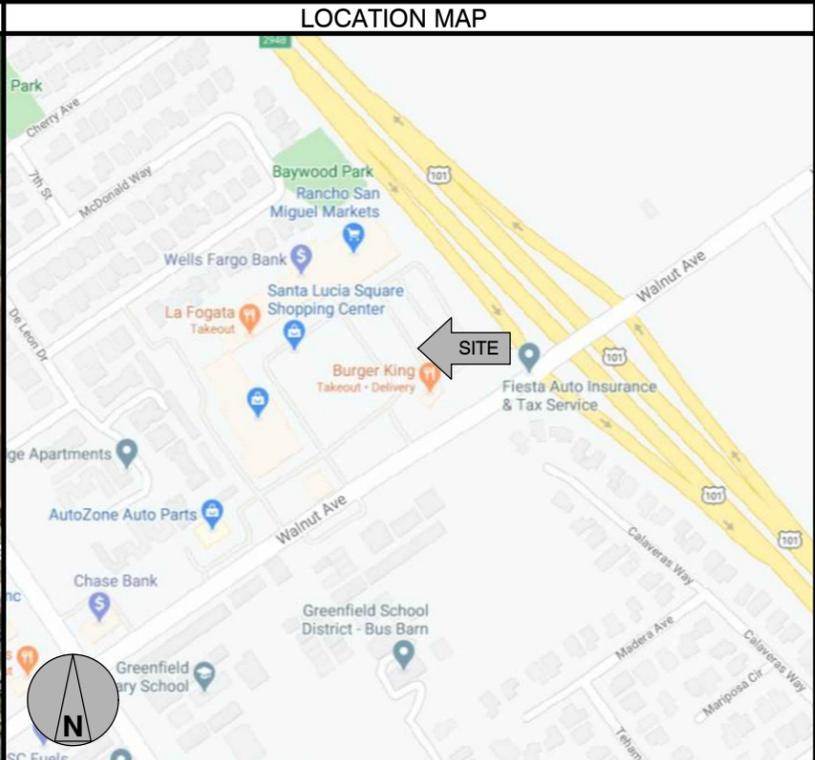
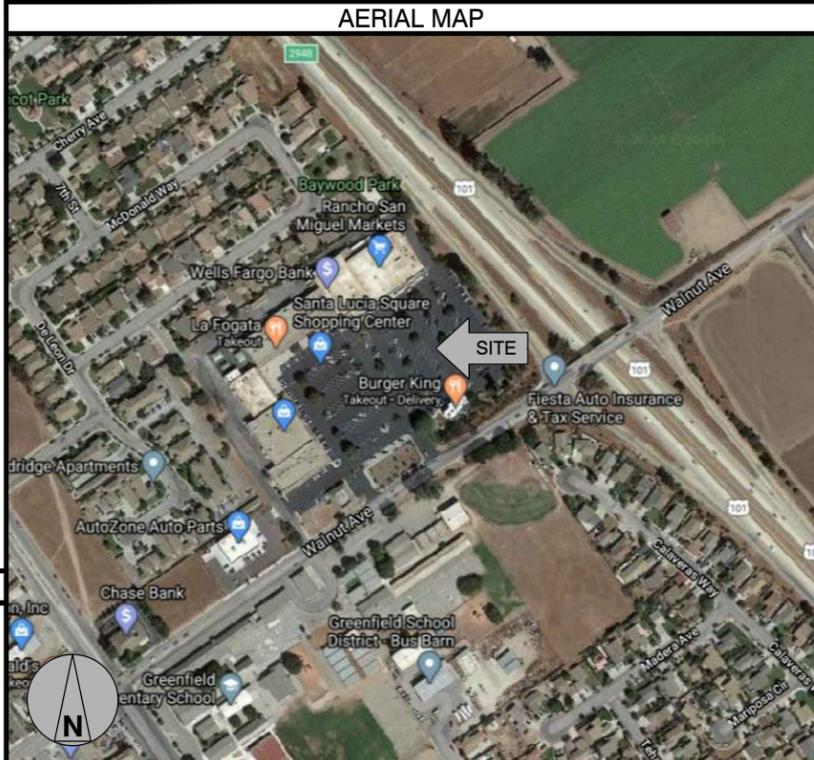
COUNTY:
MONTEREY COUNTY

LATITUDE*:
36° 19' 45.29" N

LONGITUDE*:
121° 14' 43.61" W
*BASED ON GOOGLE EARTH

PROJECT MANAGER:
JIA LIU
TESLA INC.
(530) 902-0343
jialiu@tesla.com

CONTACT ENGINEER:
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SUBMITTALS		
REV.	DATE	DESCRIPTION
0	06/15/20	FOR CONSTRUCTION
B	06/10/20	ISSUED FOR 90% REVIEW
A	05/28/20	ISSUED FOR 50% REVIEW

SITE NAME:
GREENFIELD, CA

SITE ADDRESS:
560 WALNUT AVE.
GREENFIELD, CA 93927

CONTRACTOR NOTE

CONTRACTOR SHALL COMPLETE INSTALL PER THE SIGNED AND SEALED SET OF DRAWINGS. ANY NECESSARY DEVIATIONS FROM THE DRAWINGS MUST BE SUBMITTED THROUGH AN RFI REQUEST PROCESS WITH ENGINEERING FOR AN APPROVAL PRIOR TO CONTRACTOR PROCEEDING WITH A DEVIATION OF THE SIGNED AND SEALED SET OF DRAWINGS.

BEFORE SCALING

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE TESLA REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

CALL BEFORE YOU DIG

NORTHERN CALIFORNIA
1-800-642-2444

SHEET TITLE	TITLE SHEET
SHEET NUMBER	T-1 15/24

GENERAL NOTES:

- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
GENERAL CONTRACTOR(S) OR SUB-CONTRACTOR(S) - CIVIL CONTRACTOR AND/OR ELECTRICIAN CONTRACTOR
PROJECT OWNER/CONSTRUCTION MANAGER - TESLA
PROJECT HOST - LEGAL PROPERTY OWNER
ENGINEER - DEWBERRY ENGINEERS INC.
- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF PROJECT OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. THE GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE THE INSTALLATION AS INDICATED ON THE DRAWINGS FOR A FULLY FUNCTIONAL CHARGING STATION AND COMPLETE PROJECT.
- THE SUB-CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON DRAWINGS, THE GENERAL CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE PROJECT ENGINEER. ONLY WRITTEN APPROVALS SHALL BE DEEMED TO CONFIRM ANY SUCH CHANGES AS BEING APPROVED.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT UNIQUE JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK.
- THE GENERAL CONTRACTOR SHALL REVIEW ROUTING OF CONDUIT, POWER AND GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING PLAN DRAWING. THE GENERAL CONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONSTRUCTION MANAGER AND PROJECT HOST.
- INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE PROJECT HOST. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF GENERAL CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY.
- APPLICABLE BUILDING CODES:
THE GENERAL CONTRACTORS WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
THE GENERAL CONTRACTOR WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, ASD, FOURTEENTH EDITION
- FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.
- THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER GENERAL CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S).
- CONSTRUCTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMEN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND GENERAL CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) TO THE SITE AND/OR BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
- THE GENERAL CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE PROJECT HOST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OR 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
- ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE PROJECT OWNER AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
- GENERAL CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES AND ALL SPECIFIED CLOSE-OUT DOCUMENTATION TO THE PROJECT OWNER UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
- THE GENERAL CONTRACTOR SHALL LEAVE THE WORK AREA AND SURROUNDING PREMISES IN A CLEAN CONDITION.
- THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITATION.
- NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.

SITE WORK NOTES:

PART 1 - GENERAL

- REFERENCES:
A. DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDITION).
B. AASHTO (AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS)
C. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).
D. OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).
- INSPECTION AND TESTING:
A. FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY AN INDEPENDENT TESTING LAB. THIS WORK IS TO BE COORDINATED BY THE GENERAL CONTRACTOR.
B. ALL WORK SHALL BE INSPECTED AND VERIFIED FOR CONFORMANCE AND RELEASED BY THE ENGINEER WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE GENERAL CONTRACTOR(S) RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT.
- SITE MAINTENANCE AND PROTECTION:
A. PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE CONTRACT.
B. AVOID DAMAGE AND TAKE PROTECTIVE MEASURES TO THE SITE AND TO EXISTING FACILITIES, IMPROVEMENTS, STRUCTURES, PAVEMENTS, CURBS, AND LANDSCAPING DESIGNATED TO REMAIN. ANY DAMAGED PART SHALL BE REPAIRED AT SUB-CONTRACTOR(S) EXPENSE TO THE SATISFACTION OF THE PROJECT HOST.
C. KEEP SITE FREE OF ALL PONDING OR STANDING WATER.
D. PROVIDE EROSION CONTROL MEASURES, IF REQUIRED, SHALL BE IN ACCORDANCE WITH STATE DOT, LOCAL PERMITTING AGENCY AND EPA REQUIREMENTS.
E. PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.
F. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE SUB-CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. THE GENERAL CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.
G. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE PROJECT OWNER AND/OR LOCAL UTILITIES.
H. EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE PROJECT HOST OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE PROJECT HOST AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
I. PROVIDE A MINIMUM 48-HOUR NOTICE TO THE PROJECT HOST AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.
J. SOD PLANTED IN THE FALL MUST ESTABLISH ITS ROOTS BEFORE THE FIRST WINTER FROST. DETERMINE WHEN THE FIRST FROST USUALLY OCCURS, AND PLANT THE SOD NO LATER THAN ONE MONTH BEFORE THE FIRST FROST. IF THE CONSTRUCTION IS FINISHED LATER THAN ONE MONTH BEFORE THE FIRST FROST, USE STRAW UNTIL SOD CAN BE INSTALLED.
K. THE GENERAL CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS, RUBBISH, DEBRIS, STUMPS, STICKS, AND STONES.
L. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH DEBRIS FROM THE SITE ON A DAILY BASIS.
M. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT TREES, VEGETATION, AND ROOT SYSTEMS DURING CONSTRUCTION.
N. CONTRACTOR TO COORDINATE POST CONSTRUCTION LANDSCAPING FINISHES WITH OWNER AND TESLA.

PART 2 - PRODUCTS

2.1 GRANULAR BACKFILL: SHALL MEET THE FOLLOWING GRADATION:

SIEVE SIZE	TOTAL PERCENT PASSING
1-1/2 INCH	100
1 INCH	75 TO 100
3/4 INCH	80 TO 100
3/8 INCH	35 TO 75
NO. 4	30 TO 60
NO. 30	7 TO 30
NO. 200	3 TO 15

2.2 GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SE OR SW-SM).

2.3 ALL STRUCTURAL BACKFILL AND SUBBASE UNDER SLABS SHALL BE SELECT STRUCTURAL FILL MEETING THE GRADATION AND SOUNDNESS REQUIREMENTS IN ACCORDANCE WITH THE FOLLOWING:

SIEVE SIZE	TOTAL PERCENT PASSING
4 INCH	100
NO. 40	0 TO 70
NO. 200	0 TO 40

2.4 MATERIALS SHALL BE SUBSTANTIALLY FREE OF SHALE OR OTHER SOFT, POOR DURABILITY PARTICLES. IF TESTING IS ELECTED BY PROJECT OWNER, MATERIAL WITH A MAGNESIUM SULFATE SOUNDNESS LOSS EXCEEDING 30% WILL BE REJECTED.

2.5 COARSE AGGREGATE FOR SUBBASE COURSE SHALL CONFORM TO ASTM D2940.

2.6 UNSUITABLE MATERIAL: HIGH AND MODERATELY PLASTIC SILTS AND CLAYS (LL>45). MATERIAL CONTAINING REFUSE, FROZEN LUMPS, DEMOLISHED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION, AND DEBRIS AS DETERMINED BY THE ENGINEER. TYPICALLY THESE WILL BE SOILS CLASSIFIED BY ASTM AS PT, MH, CH, OH, ML, AND OL.

PART 3 - EXECUTION

- GENERAL:
A. BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF A RAIN EVENT, NO SEDIMENT WILL LEAVE THE WORK SITE.
B. BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.
C. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA TO BE CLEARED.
D. REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.
E. REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR UNDESIRABLE MATERIALS.

- EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED, FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH GRANULAR FILL.
- REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.
- PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE ENGINEER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.
- SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL. ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- DURING EXCAVATION, THE SUB-CONTRACTOR SHALL PROVIDE SHORING, SHEETING, AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF EXCAVATION.
- WHEN DIRECTIONAL BORING IS REQUIRED, SUB-CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.

3.2 BACKFILL:

- AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH SPECIFIED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.
- PRIOR TO PLACING BACKFILL AROUND STRUCTURES, ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS, AND UNSUITABLE MATERIALS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW, OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 12-INCHES LOOSE THICKNESS AND COMPACTED. WHERE HAND OPERATED COMPACTORS ARE USED, FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12-INCHES IN LOOSE DEPTH AND COMPACTED.
- THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS ESTABLISHED BY THE STANDARD PROCTOR TEST, ASTM D 698.
- WHENEVER THE DENSITY TESTING INDICATES THAT THE SUB-CONTRACTOR(S) HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE CONSTRUCTION MANAGER. THE SUB-CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DISKING AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.
- THE SUB-CONTRACTOR SHALL OBTAIN GRAB SAMPLES OF SUFFICIENT QUANTITY TO PROVIDE TO LAB FOR PURPOSE OF DETERMINING MAX DRY DENSITY. ALL LOOSE AND/OR ORGANIC MATERIAL SHALL BE REMOVED PRIOR TO PREPARATION OF THE AREA FOR PLACEMENT OF STRUCTURAL BACKFILL. OVERALL PLAN AREA OF WORK SHALL EXTEND 3'-0" MINIMUM BEYOND THE FINAL DIMENSIONS.
- SCARIFY THE EXISTING SOILS TO A DEPTH OF 6" AND RE-COMPACT USING A VIBRATING PLATE OR TAMPER. ANY SOFT AREAS SHALL BE OVEREXCAVATED 12" AND BACKFILLED WITH MATERIALS AND COMPACTION REQUIREMENTS SHOWN ON THE DRAWINGS.
- PLACEMENT AND COMPACTION OF STRUCTURAL BACKFILL AND SUBBASE SHALL BE IN 12" LIFTS. EXCAVATE FOR THE FOOTING EDGE AS SHOWN ON THE DRAWINGS.

3.3 TRENCHING EXCAVATION:

- UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
- EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST CONDUIT.
- WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, EXCAVATE THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION, THEN BACKFILL WITH 12" OF GRANULAR MATERIAL.

3.4 TRENCHING BACKFILL:

- PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.
- NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF BACKFILLING.
- CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.
- PLACE GRANULAR BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS AND HAUNCHES.
- PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.
- ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 12-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.
- COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS ESTABLISHED BY THE STANDARD PROCTOR TEST, ASTM D 698.
- PER LOCAL REGULATORY AUTHORITY AND AS APPLICABLE, ALL TRENCHES IN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.

3.5 FINISH GRADING:

- PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL MATCH SURROUNDING TOPOGRAPHY AND STRUCTURES.
- UTILIZE GRANULAR FILL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.
- REPAIR ALL ACCESS ROADS AND SURROUNDING AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL OR BETTER CONDITION.
- AREAS OF THE PROJECT HOST'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT OR PARKING/DRIVING AREAS SHALL BE GRADED TO A UNIFORM SLOPE AND STABILIZED TO PREVENT EROSION.

3.6 ASPHALT PAVING ROAD:

- AASHTO
- STATE SPECIFIC ASPHALT SPECIFICATIONS FOR HIGHWAYS
- THE SUB-CONTRACTOR IS RESPONSIBLE FOR RE-STRIPING AND APPLYING SEALCOATING, UNLESS OTHERWISE SPECIFIED.



DRAWN BY:	JC
CHECKED BY:	DER
APPROVED BY:	BBR
PROJECT #:	50123704
JOB #:	50127325

SUBMITTALS		
REV.	DATE	DESCRIPTION
0	06/15/20	FOR CONSTRUCTION
B	06/10/20	ISSUED FOR 90% REVIEW
A	05/28/20	ISSUED FOR 50% REVIEW

SITE NAME:
GREENFIELD, CA

SITE ADDRESS:
560 WALNUT AVE.
GREENFIELD, CA 93927

SHEET TITLE
GENERAL NOTES I

SHEET NUMBER
GN-1
16/24

ELECTRICAL NOTES:

1. THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS, ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, SUB-CONTRACTOR SHALL NOTIFY THE PROJECT HOST AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE PROJECT HOST HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
2. THE GENERAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL EXISTING CONDITIONS OF ELECTRICAL EQUIPMENT, LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE SUB-CONTRACTOR, PRIOR TO THE SUBMITTAL OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE THE SUBCONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL CODES AND LOCAL ORDINANCES OF THE LOCAL POWER COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
 - A. UL – UNDERWRITERS LABORATORIES
 - B. NEC – NATIONAL ELECTRICAL CODE
 - C. NEMA – NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - D. OSHA – OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
 - E. SBC – STANDARD BUILDING CODE
 - F. NFPA – NATIONAL FIRE PROTECTION ASSOCIATION
4. DO NOT SCALE ELECTRICAL DRAWINGS, REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH ENGINEER ANY SIZES AND LOCATIONS WHEN NEEDED.
5. EXISTING SERVICES: THE GENERAL CONTRACTOR SHALL NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE PROJECT HOST.
6. THE GENERAL CONTRACTOR SHALL PAY FOR ANY/ALL PERMITS, FEES, INSPECTIONS AND TESTING. THE GENERAL CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO THE WORK BEGINNING OR ORDERING EQUIPMENT.
7. THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL, UNLESS OTHERWISE SPECIFIED BY CONSTRUCTION MANAGER OR BY PROJECT DEVELOPER.
8. THE GENERAL CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE PROJECT HOST'S CONFIRMATION, ETC. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER, PRIOR TO BEGINNING ANY WORK.
9. CONDUCTORS: THE CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER OR ALUMINUM WITH TYPE (THWN-2) INSULATION, 600 VOLT, COLOR CODED UNLESS SPECIFIED DIFFERENTLY ON DRAWINGS.
10. ALL (THWN-2) WIRING INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
11. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
12. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER. SUB-CONTRACTOR IS TO PROVIDE ALL ELECTRICAL EQUIPMENT UNLESS OTHERWISE DIRECTED.
13. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL SUB-CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY THE CONSTRUCTION MANGER.
14. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
15. THE GENERAL CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
16. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
17. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
18. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEEE.
19. GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURES CATALOG INFORMATION OF ANY/ALL LIGHTING FIXTURES, SWITCHES AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
20. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE CONTRACTOR(S) RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE CONSTRUCTION MANAGER UPON FINAL ACCEPTANCE.
21. THE SUBCONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES.
22. DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
23. ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NOALOX" BY IDEAL INDUSTRIAL INC. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED ALUMINUM & COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED – NO SUBSTITUTIONS.
24. ALL EXTERIOR AND INTERIOR ABOVE GROUND CONDUIT SHALL BE RIGID GALVANIZED STEEL UNLESS SPECIFIED OTHERWISE. RACEWAYS: ALL CONDUITS SHALL BE SCHEDULE 40 EMT MEETING OR EXCEEDING NEMA TC2 – 1990 UNLESS SPECIFIED OTHERWISE. THE SUB-CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS – 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 3 FT. RADIUS. EMT CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'GOLD GALV'.

25. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
26. CONNECTORS FOR POWER CONDUCTORS: SUB-CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
27. THE SUB-CONTRACTOR SHALL PLACE TWO LENGTHS OF WARNING TAPE AT A DEPTH OF 12" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC".
28. WHEN DIRECTIONAL BORING IS REQUIRED, SUB-CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.
29. ALL BOLTS SHALL BE STAINLESS STEEL.
30. ALL MATERIALS AND EQUIPMENT SUPPLIED AND INSTALLED BY THE SUBCONTRACTOR SHOULD BE NEW AND UNUSED.
31. PER NEC 625.22 – THE USER INTERFACE (CHARGE POST) IS CONTROLLED BY THE ELECTRICAL EQUIPMENT (SUPERCHARGER CABINET) AND THE FOLLOWING PRECAUTIONS HAVE BEEN TAKEN TO ENSURE THE SAFETY OF CUSTOMERS AND THOSE AROUND THE EQUIPMENT. BEFORE ANY VOLTAGE OR CURRENT IS APPLIED TO THE CHARGE POST, THE CABINET MUST COMMUNICATE WITH THE TESLA VEHICLE. THERE IS A "HANDSHAKE" BETWEEN THE CAR AND THE CABINET CONFIRMING THAT THE VEHICLE IS ACTUALLY A TESLA AND THAT THE VEHICLE CAN HANDLE THE SUPERCHARGING. VOLTAGE IS THEN APPLIED TO THE POWER SOCKETS IN THE CHARGE POST AND ONCE THE VOLTAGE READING FROM THE CAR IS VERIFIED AS THE SAME IN THE CHARGING CABINET, THEN CURRENT BEGINS TO FLOW. IF AT ANY POINT IN THIS PROCESS A FAULT IS DETECTED, THE CHARGING WILL STOP IMMEDIATELY, WITHIN A MATTER OF MILLISECOND. DURING THE NORMAL CHARGING CYCLE, IF ANY FAULT OR IRREGULARITY IS DETECTED, THE CHARGING WILL AGAIN STOP WITHIN MILLISECOND OF DETECTION. BEYOND THIS LOGIC PROTECTION, THERE IS PHYSICAL PROTECTION FROM OVER-CURRENT OR OVER-VOLTAGE WITHIN EACH OF THE CHARGERS. BEYOND THAT, FAST ACTING FUSES ALSO PROTECT THE VEHICLE OUTPUTS FROM OUTPUTTING TOO HIGH OF A CURRENT.

REINFORCED CONCRETE NOTES:

1. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX CONCRETE AT THE JOB SITE. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
3. ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL BE AIR-ENTRAINED AND SHALL HAVE 4000 PSI STRENGTH AT 28 DAYS. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
4. MAXIMUM AGGREGATE SIZE SHALL BE 3/4".
5. THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:	ASTM C 150, TYPE I
REINFORCEMENT:	ASTM A 615, GRADE 60
NORMAL WEIGHT AGGREGATE:	ASTM C 33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING
6. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH "DETAILING MANUAL-2004 PUBLICATION SP-66" AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI-318-08.
7. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B"; ALL HOOKS SHALL BE STANDARD, UNO.
8. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

CONCRETE CAST AGAINST EARTH:	3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:	#6 AND LARGER 2 IN. #5 AND SMALLER & WWF 1-1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:	SLAB AND WALL 3/4 IN. BEAMS AND COLUMNS 1-1/2 IN.
9. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
10. INSTALLATION OF CONCRETE ANCHOR, SHALL BE PER MANUFACTURERS WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
11. CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
12. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
13. DO NOT WELD OR TACKWELD REINFORCING STEEL.
14. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
15. LOCATE ADDITIONAL EXPANSION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
16. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
17. PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
18. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
19. DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
20. MAINTAIN TEMPERATURE OF CAST IN PLACE CONCRETE BETWEEN 50 DEGREES AND 90 DEGREES FAHRENHEIT. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.
21. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REINFORCEMENT SPLICES SHALL MEET CLASS B, TENSION LAP REQUIREMENTS IN ACCORDANCE WITH ALL PROVISIONS OF ACI 318 LATEST EDITION, UNLESS NOTED OTHERWISE.
22. PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING.

HORIZONTAL DIRECT DRILLING NOTES:

1. THE WORK SPECIFIED IN THIS SECTION CONSISTS OF FURNISHING AND INSTALLING UNDERGROUND UTILITIES USING THE DIRECTIONAL BORING (HORIZONTAL DIRECTIONAL DRILLING, HDD) METHOD OF INSTALLATION, ALSO COMMONLY REFERRED TO AS GUIDED HORIZONTAL BORING. THIS WORK SHALL INCLUDE ALL SERVICES, EQUIPMENT, MATERIALS, AND LABOR FOR THE COMPLETE AND PROPER INSTALLATION, TESTING, RESTORATION OF UNDERGROUND UTILITIES AND ENVIRONMENTAL PROTECTION AND RESTORATION.
2. WORK PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MUST SUBMIT TO THE ENGINEER A GENERAL WORK PLAN OUTLINING THE PROCEDURE AND SCHEDULE TO BE USED TO EXECUTE THE PROJECT. PLAN SHOULD DOCUMENT THE THOUGHTFUL PLANNING REQUIRED TO SUCCESSFULLY COMPLETE THE PROJECT.
3. ENVIRONMENTAL PROTECTION: CONTRACTOR SHALL PLACE SILT FENCE BETWEEN ALL BORING OPERATIONS AND ANY DRAINAGE, WETLAND, WATERWAY OR OTHER AREA DESIGNATED FOR SUCH PROTECTION BY CONTRACT DOCUMENTS, STATE, FEDERAL AND LOCAL REGULATIONS. ADDITIONAL ENVIRONMENTAL PROTECTION NECESSARY TO CONTAIN ANY HYDRAULIC OR BORING FLUID SPILLS SHALL BE PUT IN PLACE, INCLUDING BERMS, LINERS, TURBIDITY CURTAINS AND OTHER MEASURES. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE ENVIRONMENTAL REGULATIONS. FUEL OR OIL MAY NOT BE STORED IN BULK CONTAINERS WITHIN 200' OF ANY WATER-BODY OR WET-LAND.
4. UTILITY LOCATES: CONTRACTOR SHALL NOTIFY ALL COMPANIES WITH UNDERGROUND UTILITIES IN THE WORK AREA VIA THE STATE OR LOCAL "ONE-CALL" TO OBTAIN UTILITY LOCATES. ONCE THE UTILITIES HAVE BEEN LOCATED CONTRACTOR SHALL PHYSICALLY IDENTIFY THE EXACT LOCATION OF THE UTILITIES BY VACUUM OR HAND EXCAVATION, WHEN POSSIBLE, IN ORDER TO DETERMINE THE ACTUAL LOCATION AND PATH OF ANY UNDERGROUND UTILITIES WHICH MIGHT BE WITHIN 20 FEET OF THE BORE PATH. CONTRACTOR SHALL NOT COMMENCE BORING OPERATIONS UNTIL THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE WORK AREA HAVE BEEN VERIFIED.
5. SAFETY: CONTRACTOR SHALL ADHERE TO ALL APPLICABLE STATE, FEDERAL AND LOCAL SAFETY REGULATIONS AND ALL OPERATIONS SHALL BE CONDUCTED IN A SAFE MANNER. SAFETY MEETINGS SHALL BE CONDUCTED AT LEAST WEEKLY WITH A WRITTEN RECORD OF ATTENDANCE AND TOPIC SUBMITTED TO ENGINEER.
6. SITE RESTORATION: FOLLOWING BORING OPERATIONS, CONTRACTOR WILL DE-MOBILIZE EQUIPMENT AND RESTORE THE WORK-SITE TO ORIGINAL CONDITION. ALL EXCAVATIONS WILL BE BACKFILLED AND COMPACTED TO 95% OF ORIGINAL DENSITY. LANDSCAPING WILL BE RESTORED TO ORIGINAL.
7. RECORD KEEPING: CONTRACTOR SHALL MAINTAIN A DAILY PROJECT LOG OF BORING OPERATIONS AND A GUIDANCE SYSTEM LOG WITH A COPY GIVEN TO ENGINEER AT COMPLETION OF PROJECT. AS-BUILT DRAWINGS SHALL BE CERTIFIED AS TO ACCURACY BY CONTRACTOR.

TRAFFIC MANAGEMENT NOTES:

1. ALL TEMPORARY CONTROL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ALL REVISIONS, UNLESS SUPERCEDED BY THESE PLANS.
2. ALL SIGN LEGENDS, BORDERS, AND MOUNTING SHALL BE IN ACCORDANCE WITH THE MUTCD.
3. TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.
4. TEMPORARY CONSTRUCTION SIGNING, BARRICADES, AND ALL OTHER NECESSARY WORK ZONE TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE HIGHWAY OR COVERED WHEN THEY ARE NOT REQUIRED FOR CONTROL OF TRAFFIC.
5. SIGNS AND SIGN SUPPORTS LOCATED ON OR NEAR THE TRAVELED WAY, CHANNELIZING DEVICES, BARRIERS, AND CRASH ATTENUATORS MUST PASS THE CRITERIA SET FORTH IN NCHRP REPORT 350, "RECOMMENDED PROCEDURES FOR THE SAFETY PERFORMANCE EVALUATION OF HIGHWAY FEATURES" AND/OR "MANUAL FOR ASSESSING SAFETY HARDWARE" (MASH).
6. CONTRACTORS SHALL NOTIFY THE OWNER AND ALL TENANTS OF THIS PROPERTY AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT, AND SIMILAR OPERATIONS.
7. THE FIRST FIVE PLASTIC DRUMS OF A TAPER SHALL BE MOUNTED WITH TYPE A LIGHTS.
8. MAXIMUM SPACING OF TRAFFIC DEVICES IN A TAPER (DRUMS OR CONES) IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.
9. MINIMUM LANE WIDTH IS TO BE 11 FEET (3.3m) UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH TO BE MEASURED FROM THE EDGE OF DRUMS OR MEDIAN BARRIER.
10. EXISTING PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES THROUGH A COMBINATION OF PEDESTRIAN DETOURS OR PROTECTED SAFE ROUTES. ALL PEDESTRIAN ROUTES SHALL MEET APPLICABLE ACCESSIBILITY REQUIREMENTS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC THROUGHOUT CONSTRUCTION AT THIS LOCATION. THE CONTRACTOR SHALL INSTALL TEMPORARY TRAFFIC SIGNS, DRUMS, CONES, OR OTHER TRAFFIC CONTROL DEVICES TO DIRECT VEHICLES AND PEDESTRIANS AROUND THE WORK ZONE.



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TANJA BRIX, P.E.
CALIFORNIA LICENSE No. C61498

DRAWN BY: JC

CHECKED BY: DER

APPROVED BY: BBR

PROJECT #: 50123704

JOB #: 50127325

SUBMITTALS		
REV.	DATE	DESCRIPTION
0	06/15/20	FOR CONSTRUCTION
B	06/10/20	ISSUED FOR 90% REVIEW
A	05/28/20	ISSUED FOR 50% REVIEW

SITE NAME:
GREENFIELD, CA

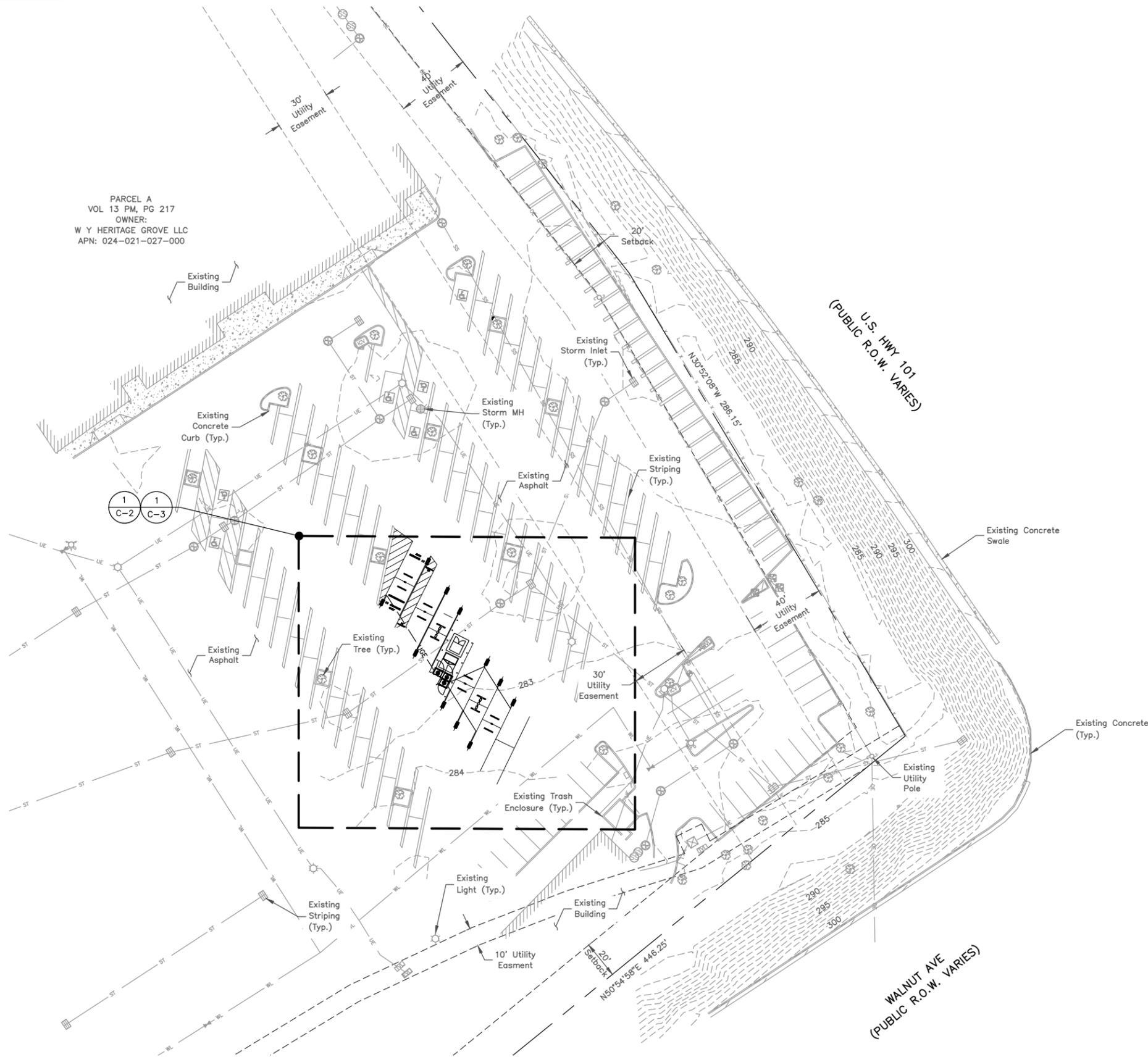
SITE ADDRESS:
560 WALNUT AVE.
GREENFIELD, CA 93927

SHEET TITLE
GENERAL NOTES II

SHEET NUMBER
GN-2
17/24



PARCEL A
VOL 13 PM, PG 217
OWNER:
W Y HERITAGE GROVE LLC
APN: 024-021-027-000



LEGEND:

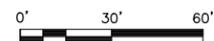
- SITE BENCHMARK
- SANITARY MANHOLE
- CLEANOUT
- STORM INLET (ROUND)
- STORM INLET (RECTANGLE)
- FIRE HYDRANT
- WATER VALVE
- IRRIGATION CONTROL VALVE
- WATER VAULT
- LIGHT POLE
- ELECTRIC TRANSFORMER
- UTILITY POLE
- ELECTRIC VAULT
- TELEPHONE VAULT
- HANDICAP PARKING
- DECIDUOUS TREE
- STORM LINE (UNDERGROUND)
- SANITARY LINE (UNDERGROUND)
- WATER LINE (UNDERGROUND)
- ELECTRIC LINE (UNDERGROUND)
- ELECTRIC LINE (OVERHEAD)
- CHAINLINK FENCE
- PROPERTY LINE
- CONCRETE AREA

NOTES:

1. SITE PLAN BASED ON ENGINEERING DESIGN SURVEY A PORTION OF THE SW1/4 OF THE PROJECTED SECTION 30 TOWNSHIP 18 SOUTH, RANGE 7 EAST MD, CITY OF GREENFIELD, MONTEREY COUNTY, CALIFORNIA BY CLARK LAND SURVEYING, INC DATED 03/02/2020.
2. UTILITY CONNECTION TO BE MADE UNDER PACIFIC GAS & ELECTRIC STANDARDS, CONFIRM FINAL DESIGN PRIOR TO CONSTRUCTION, PG&E WORK ORDER #35157661.
3. EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
4. EXISTING CUSTOMER OWNED ELECTRICAL CONDUIT TO BE RELOCATED AS NEEDED DURING CONSTRUCTION.
5. EXISTING STORM DRAIN INLETS TO BE COVERED WITH SILT BAG.

SITE PLAN

SCALE: 1"=60' FOR 11"x17"
1"=30' FOR 22"x34"



1



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SITE ADDRESS:
560 WALNUT AVE.
GREENFIELD, CA 93927

SHEET TITLE

SITE PLAN

SHEET NUMBER

C-1
18/24



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SITE NAME:
GREENFIELD, CA

SITE ADDRESS:
560 WALNUT AVE.
GREENFIELD, CA 93927

SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER
C-2
10/24

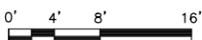


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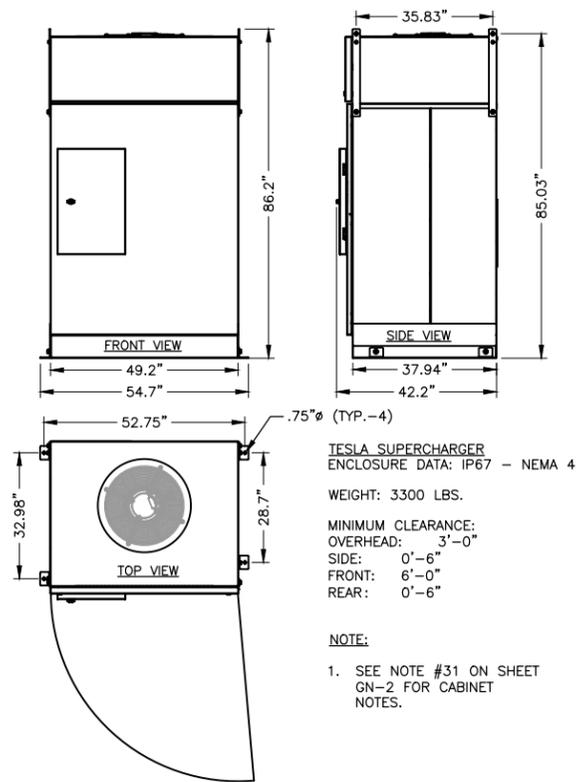
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4. EXISTING CUSTOMER OWNED ELECTRICAL CONDUIT TO BE RELOCATED AS NEEDED DURING CONSTRUCTION.
5. EXISTING STORM DRAIN INLETS TO BE COVERED WITH SILT BAG.

DEMOLITION PLAN

SCALE: 1/16"=1' FOR 11"x17"
1/8"=1' FOR 22"x34"



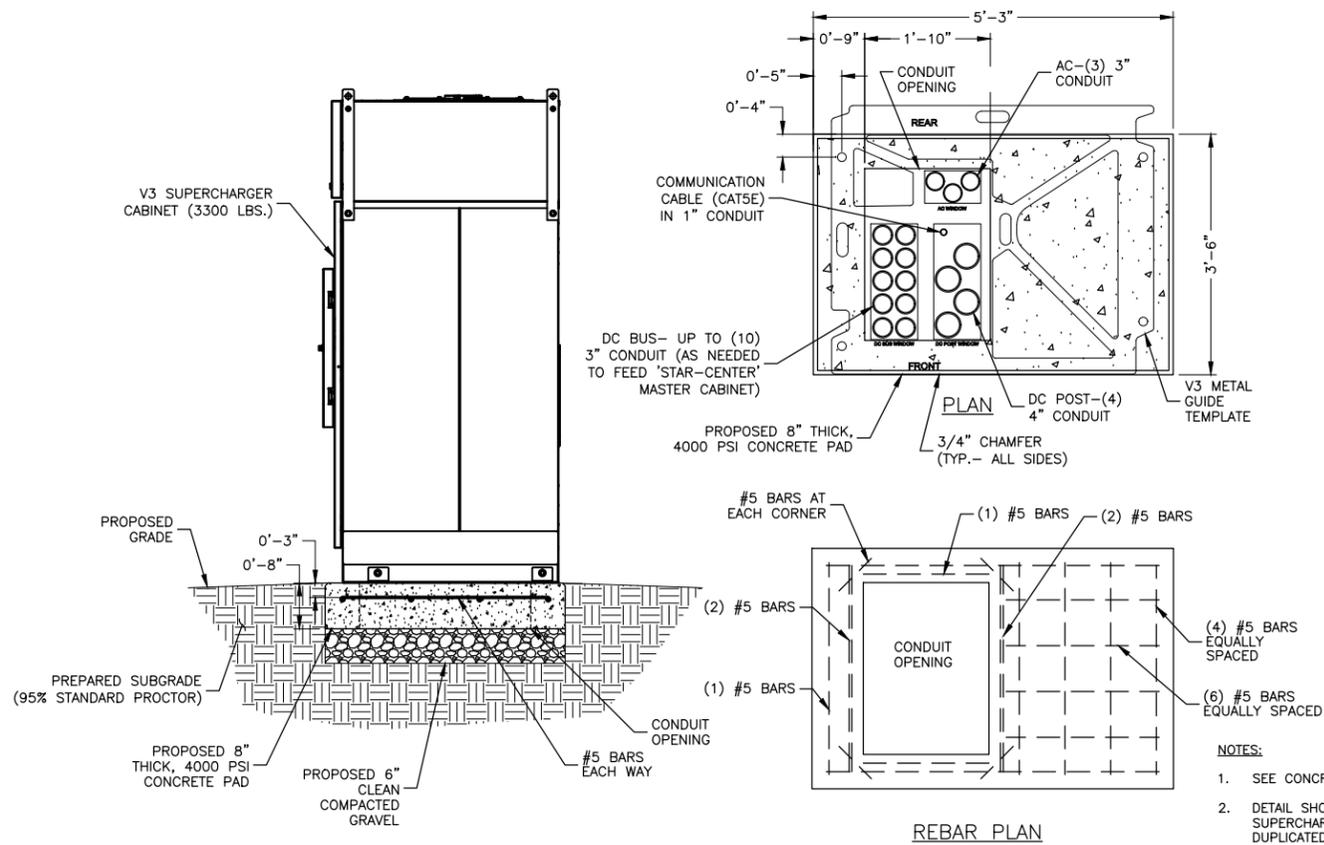
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TESLA SUPERCHARGER CABINET DETAIL

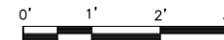
SCALE: N.T.S.

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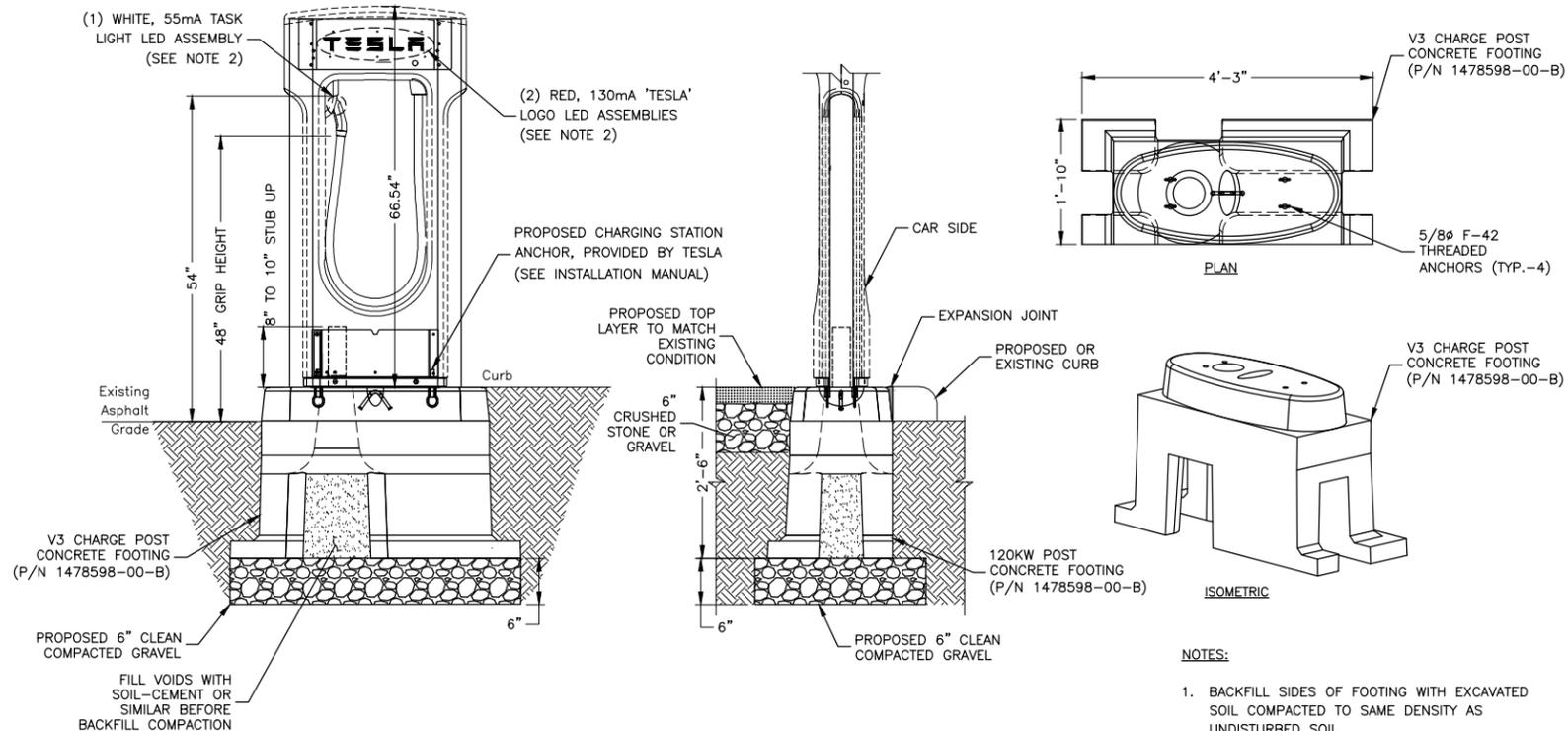


V3 CABINET FOUNDATION PLAN

SCALE: 3/8"=1' FOR 11"x17"
 3/4"=1' FOR 22"x34"



2



ILLUMINATED CHARGING STATION FOOTING DETAIL

SCALE: N.T.S.

3



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GREENFIELD, CA

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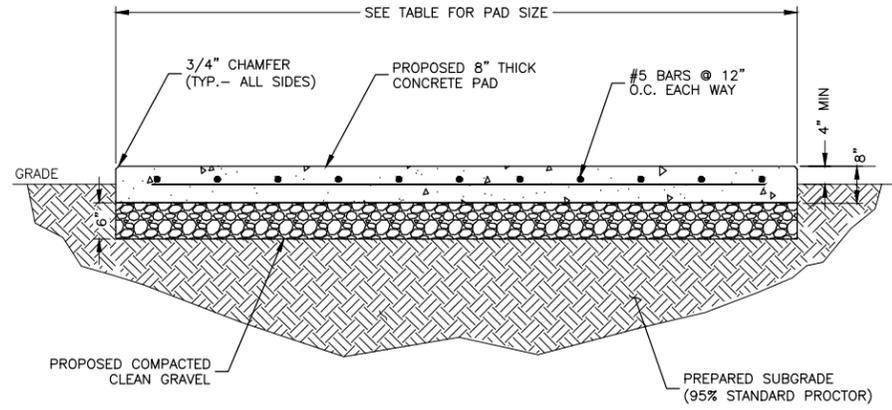
560 WALNUT AVE.
 GREENFIELD, CA 93927

SHEET TITLE

CONSTRUCTION
 DETAILS I

SHEET NUMBER

C-4
 17

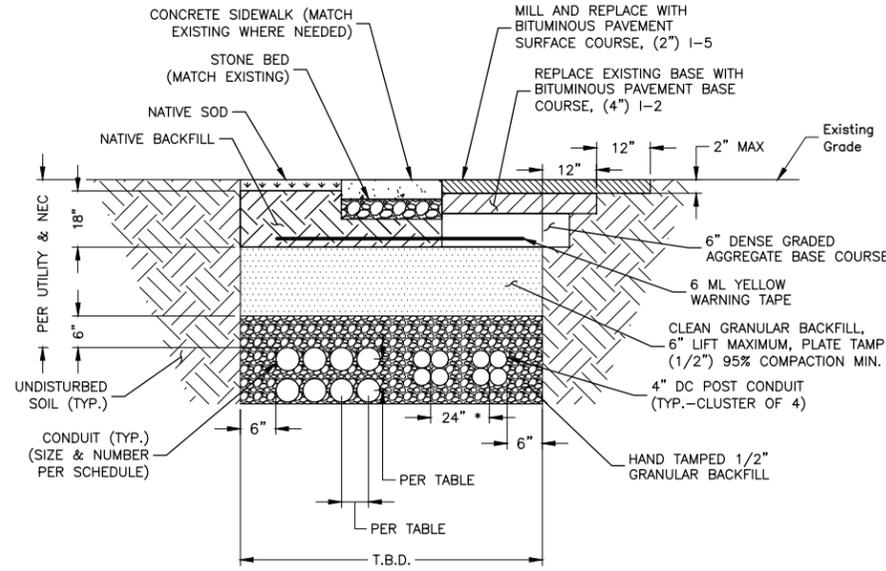


CONCRETE PAD DIMENSIONS					
PAD TYPE	CONCRETE	L	W	t (THICKNESS)	AREA
SUPERCHARGER	4000 PSI	10'-6"	3'-6"	8"	37 S.F.
SWITCHGEAR	4000 PSI	7'-6"	4'-0"	8"	30 S.F.

NOTE:
1. SEE CONCRETE NOTES ON SHEET GN-1.

CONCRETE PAD DETAIL
SCALE: N.T.S.

1



MINIMUM CENTER TO CENTER CONDUIT SPACING	
(SWITCHGEAR TO CABINETS)	7.5" O.C.
DC (BUSS)	7.5" O.C.
DC (POST) * (CLUSTER OF 4 CONDUITS)	24" O.C. *

* 6" OF SEPARATION IS ALLOWED WHEN A FLUIDIZED THERMAL BACKFILL WITH A RHO OF 60 °C-cm/W OR LESS WITH A MINIMUM HEIGHT OF 12" ABOVE THE CONDUIT IS UTILIZED.

- NOTES:
- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL.
 - IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
 - CONCRETE ENCASE CONDUIT WHEN TRENCHING UNDER SITE ACCESS ROAD.
 - ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE CONSTRUCTION CONDITIONS OR BETTER.
 - MAINTAIN 12" SEPARATION MIN. BETWEEN AC OR DC CONDUCTORS AND COMMUNICATION CABLES.
 - CONFIRM ALL DEPTHS W/UTILITY & NEC PRIOR TO CONSTRUCTION.

TYP. BURIED CONDUIT TRENCH DETAILS
SCALE: N.T.S.

2



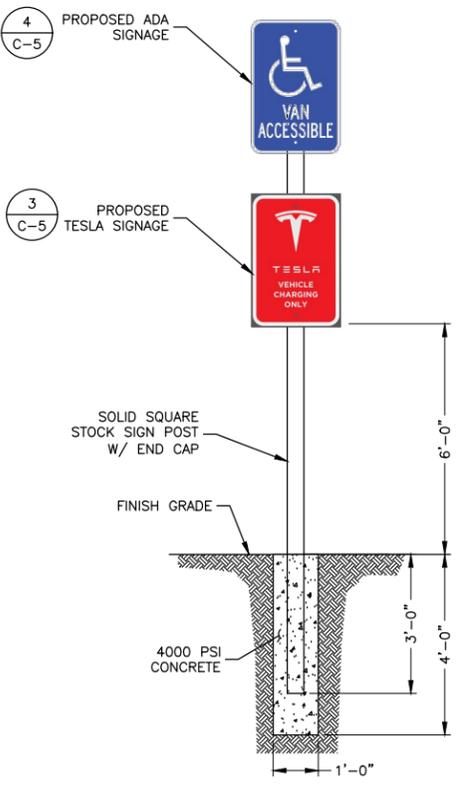
DEDICATED SIGNAGE DETAIL
SCALE: N.T.S.

3



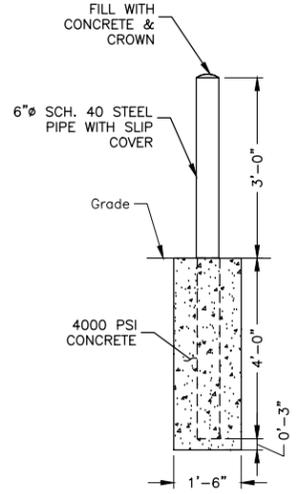
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4



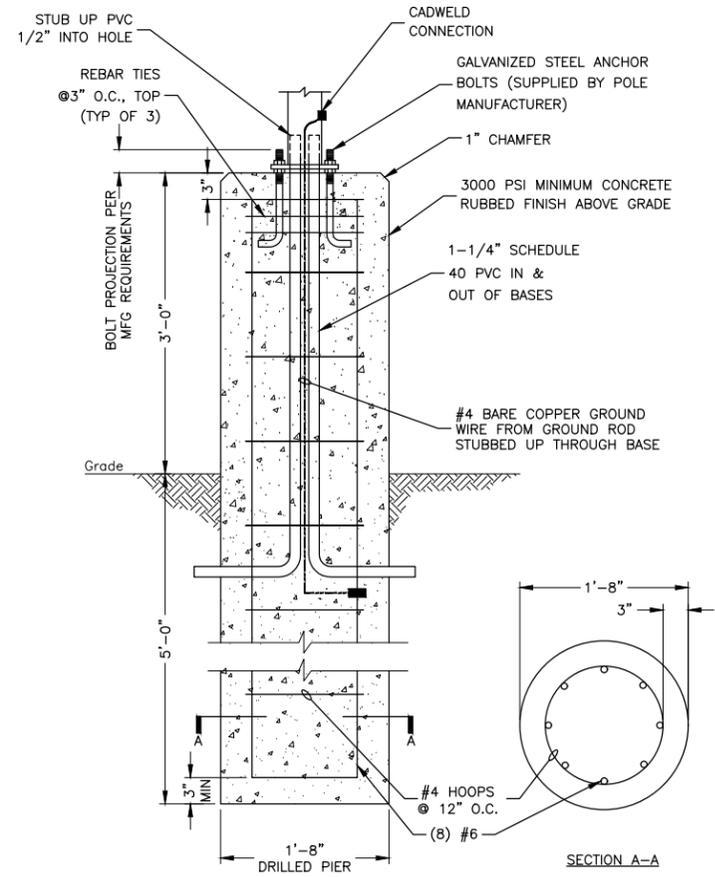
TESLA PARKING SIGN DETAIL
SCALE: N.T.S.

5



CONCRETE BOLLARD DETAIL
SCALE: N.T.S.

6



PEDESTRIAN LIGHT POLE BASE DETAIL
SCALE: N.T.S.

7



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Dewberry Engineers Inc.
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TANJA BRIX, P.E.
CALIFORNIA LICENSE No. C61498

DRAWN BY:	JC
CHECKED BY:	DER
APPROVED BY:	BBR
PROJECT #:	50123704
JOB #:	50127325

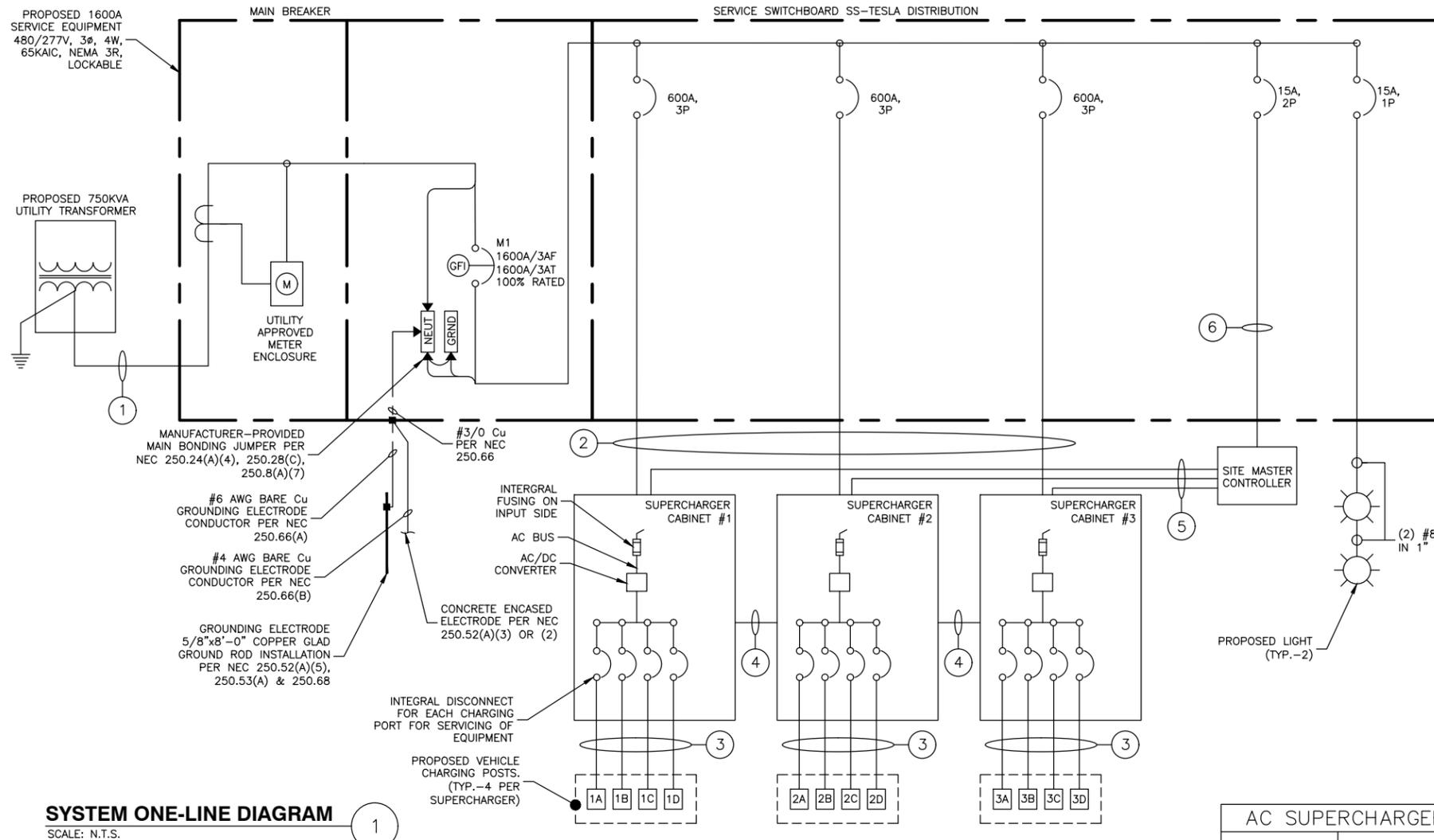
SUBMITTALS		
REV.	DATE	DESCRIPTION
0	06/15/20	FOR CONSTRUCTION
B	06/10/20	ISSUED FOR 90% REVIEW
A	05/28/20	ISSUED FOR 50% REVIEW

SITE NAME:
GREENFIELD, CA

SITE ADDRESS:
560 WALNUT AVE.
GREENFIELD, CA 93927

SHEET TITLE
CONSTRUCTION
DETAILS II

SHEET NUMBER
C-5
18



SYSTEM ONE-LINE DIAGRAM
SCALE: N.T.S.

NO:	FROM	TO	CONFIGURATION
1	UTILITY TRANSFORMER	PROPOSED SERVICE EQUIPMENT PANEL	PER UTILITY DRAWING (CONTRACTOR TO CONFIRM LATEST SCOPE OF WORK & RESPONSIBILITIES)
2	PROPOSED SERVICE EQUIPMENT PANEL (600A, 80% RATED)	PROPOSED TESLA SUPERCHARGER	[2 SETS] (3) 500MCM AL (THWN-2) (1) 500MCM AL (THWN-2) NEUT (1) #1/0 CU GROUND IN 4" PVC CONDUIT
3	PROPOSED TESLA SUPERCHARGER	PROPOSED TESLA POST (TYP.-B)	[1 SET PER POST] (4) 350MCM AL (XHHW-2) (1000V RATED) (1) #1 AWG CU EGC & SHIELDED 600V COMM CABLE (PER TESLA) IN 4" PVC CONDUIT
4	DC BUS BETWEEN PROPOSED SUPERCHARGERS	DC BUS BETWEEN PROPOSED SUPERCHARGERS	[2 SETS] (2) 500MCM AL (XHHW-2) (1) 1/0 CU GROUND & (1) 3/0 AWG AL DC MID 1000V RATED IN 4" PVC
5	SITE CONTROLLER	SUPERCHARGER (TYP.)	SHIELDED CAT5E COMM CABLE ROUTED IN 1" PVC CONDUIT
6	PROPOSED SERVICE EQUIPMENT PANEL (15A)	PROPOSED TESLA SITE CONTROLLER	(2) #12, (1) #10G IN 3/4" CONDUIT

BREAKER SETTINGS

1600 MAIN BREAKER
MFG: GE
CAT. NO: SSF2G5B3P000008
LTPU = 1
LT BAND = 1
STPU = 3
ST BAND = MIN (1)
INST = 15

600A SUPERCHARGER BREAKER
MFG: GE
CAT. NO: SRPG600A600
LTPU = 1
LT BAND = 1
INST = 5

AC SUPERCHARGER LENGTHS

SUPERCHARGER	LINEAR LENGTH BREAKER PANEL TO SUPERCHARGER	ESTIMATED LENGTH*
1	10'	35'
LENGTH OF AC AL WIRE PER CONDUIT**:		140'
TOTAL NUMBER OF CONDUITS:		2
LENGTH OF AC AL WIRE ***:		280'
2	10'	35'
LENGTH OF AC AL WIRE PER CONDUIT**:		140'
TOTAL NUMBER OF CONDUITS:		2
LENGTH OF AC AL WIRE ***:		280'
3	15'	40'
LENGTH OF AC AL WIRE PER CONDUIT**:		160'
TOTAL NUMBER OF CONDUITS:		2
LENGTH OF AC AL WIRE ***:		320'
TOTAL LENGTH OF AC AL WIRE ****:		880'
TOTAL LENGTH OF #1/0 Cu GROUND*****:		440'

AC NOTES:

- * AC CONDUCTORS: 25 FT IS ADDED TO THE HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH & TRANSITIONS.
- ** ESTIMATED LENGTH OF AI WIRE = SUM OF ESTIMATED LENGTH X 4 WIRES PER SUPERCHARGER
- *** LENGTH = LENGTH OF AC AL WIRE PER CONDUIT X # OF CONDUITS
- **** TOTAL LENGTH = SUM OF AC LENGTHS
- ***** TOTAL LENGTH OF Cu GROUND= LENGTH X # SETS

DC CHARGING POST LENGTHS

SUPERCHARGER	CHARGE POST	LINEAR LENGTH	ESTIMATED DC Cu WIRE LENGTH*
1	1A	53'	75'
	1B	68'	90'
	1C	32'	54'
	1D	48'	70'
2	2A	25'	47'
	2B	42'	64'
	2C	15'	37'
	2D	20'	42'
3	3A	22'	44'
	3B	38'	60'
	3C	35'	57'
	3D	50'	72'
CONDUIT LENGTH:		712'	
TOTAL CONDUCTOR LENGTH**:		2848'	
TOTAL LENGTH OF #1 AWG GND & COMM CABLE**:		712'	

DC NOTES:

- 1. ANY DC RUN OVER 320' SHALL BE BROUGHT TO THE ATTENTION OF TESLA CM.
- * 22 FT IS ADDED TO THE HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH & TRANSITIONS.
- ** ESTIMATED LENGTH OF DC Cu WIRE = SUM OF ESTIMATED LENGTH X 4 WIRES PER SUPERCHARGER

LIGHTING SPECIFICATIONS

LIGHTING	
MANUFACTURER	LINMORE LED
SUITABILITY	WET LOCATIONS - IP65 RATED
WARRANTY	10 YEARS
EXPECTED LIFE	L70 - 150,000 HOURS
SYSTEMS WATTAGES	75W, 100W, 125W, 150W, 300W
COLOR RENDERING INDEX	>70
COLOR TEMPERATURE	3500K, 4000K, 5000K
OPERATING TEMPERATURE	-40F TO +130F
EFFICACY	(5000K) UP TO 170 LUMENS/WATT
VOLTAGE	120/277V, 347/480V
CERTIFICATIONS	UL1598, LIGHT FACTS, FCC CRF 47, PART 15, ROHS, CUL CANADA
DESIGN LIGHT CONSORTIUM	YES
POLE	
MANUFACTURER	BRILLIANT LIGHTING & SPECIALTY PRODUCTS
PART NUMBER	BLPSSS-20411-Z-D4-D
MOUNTING OPTIONS	
TWIN SPOKE BRACKET P/N:	BLPTS2180SZ

- NOTES:**
- CONDUCTOR LENGTHS ARE ESTIMATES ONLY. FINAL CONDUCTOR ROUTING PATH AND LENGTHS SHALL BE DETERMINED BY THE CONTRACTOR IN THE FILED BASED ON PHYSICAL MEASUREMENTS. CONTRACTOR TO ORDER CONDUCTORS BASED ON FIELD MEASUREMENTS (MUST BE APPROVED BY TESLA INSTALLATION MANAGER).
 - ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) AND UTILITY COMPANY STANDARDS.
 - ALL CONDUCTORS TO RECEIVE ANTI-OXIDATIVE COATING DURING INSTALLATION.
 - DC RUN LENGTH MAXIMUM IS 320' INCLUDING BURIED DEPTH. ANY DC RUN LENGTHS OVER THE MAXIMUM SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF TESLA.
 - UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT TIME OF PRE CONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATION.
 - UTILITY CONDUITS, CONNECTORS, TRANSFORMER PAD & TRANSFORMER FOUNDATION TO BE INSTALLED PER UTILITY SPECIFICATION. CONFIRM LATEST SPECIFICATIONS PRIOR TO CONSTRUCTION.
 - EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
 - CONTRACTOR RESPONSIBLE FOR ALL TRAFFIC SAFETY MEASURES THROUGHOUT DURATION OF CONSTRUCTION. COORDINATE ANY ACCESS ROAD CLOSURES W/OWNER.



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JOSEPH GIGANTIELLO, P.E.
CALIFORNIA LICENSE No. E20143

DRAWN BY: JC

CHECKED BY: DER

APPROVED BY: BBR

PROJECT #: 50123704

JOB #: 50127325

SUBMITTALS

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SITE ADDRESS:
560 WALNUT AVE.
GREENFIELD, CA 93927

SHEET TITLE
ELECTRICAL RISER
DIAGRAM & CIRCUIT
SCHEDULE

SHEET NUMBER
E-1
10



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JOSEPH GIGANTIELLO, P.E.
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DRAWN BY:	JC
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SUBMITTALS

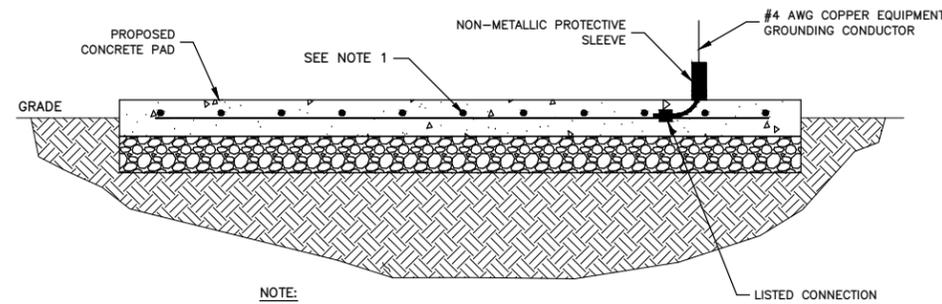
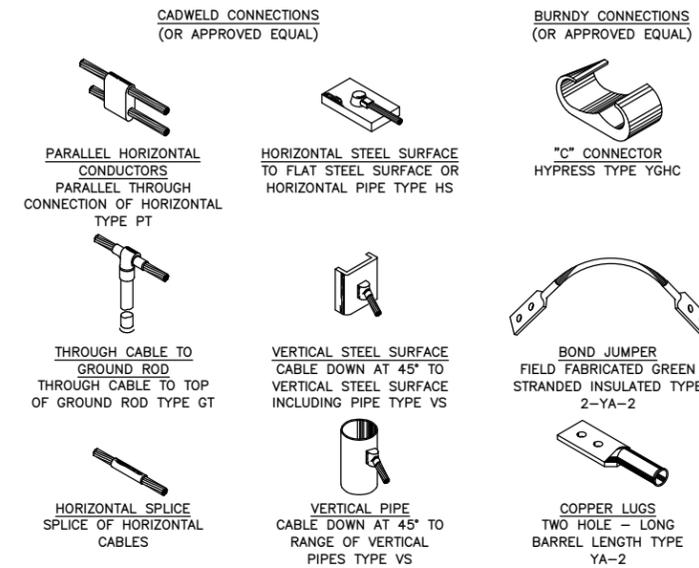
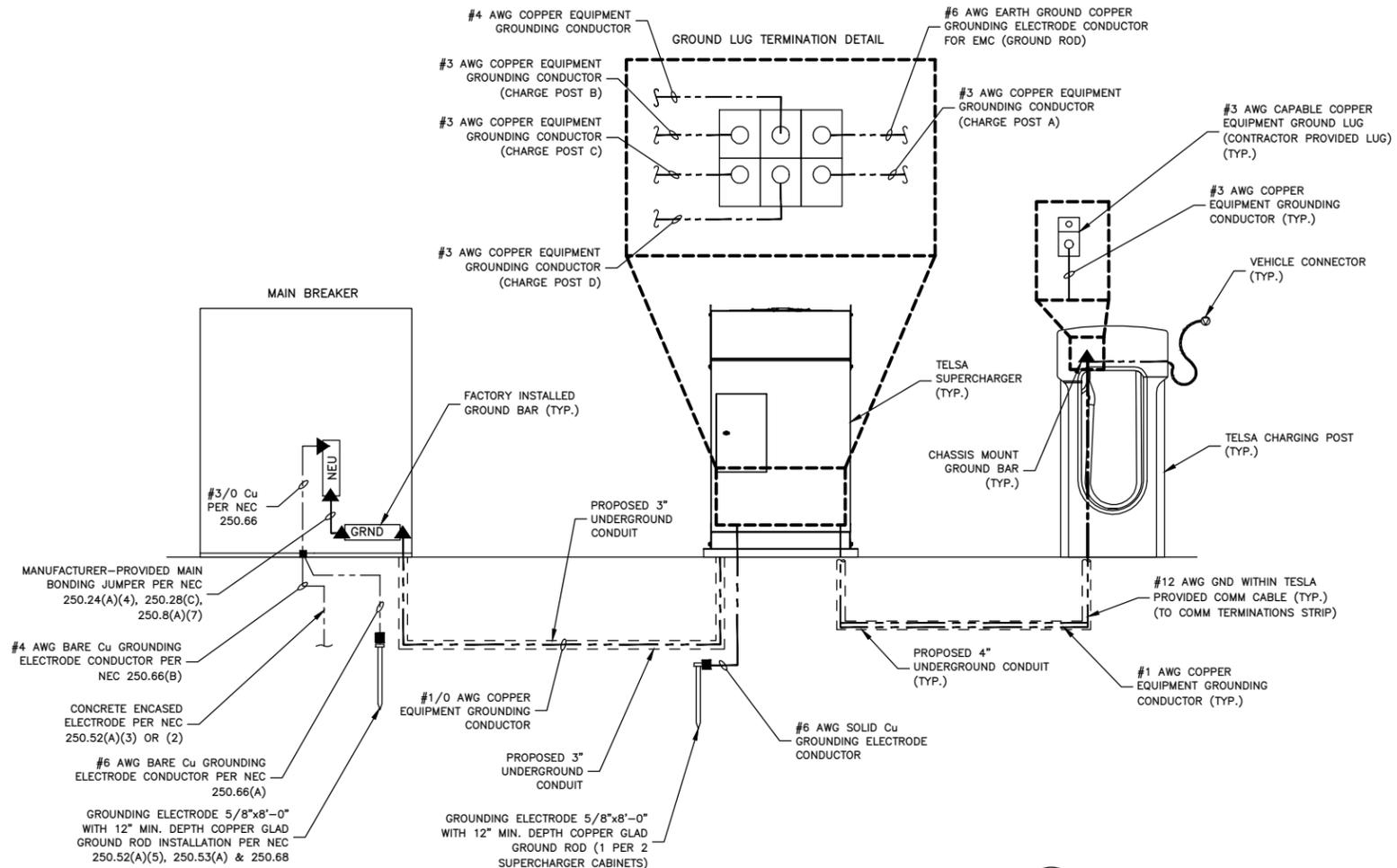
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SITE NAME:
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SHEET TITLE
GROUNDING
SCHEMATIC & DETAILS

SHEET NUMBER
G-1
20



NOTE:
1. REBAR BONDED TOGETHER WITH STEEL TIE WIRES.

CONCRETE ENCASED ELECTRODE DETAIL
SCALE: N.T.S.