

CITY OF GREENFIELD PLANNING COMMISSION

**Greenfield Civic Center
599 El Camino Real
Greenfield California
Tuesday
November 1, 2016
6:00 P.M.**

**CHAIR ANDREW TIPTON
VICE CHAIR DIANE BRUEGGEMAN
COMMISSIONER TINA MARTINEZ
COMMISSIONER ENRIQUE RAMIREZ
COMMISSIONER MARIA CASTILLO**

AGENDA & ORDER OF BUSINESS

- A. CALL TO ORDER**
- B. ROLL CALL**
- C. PUBLIC COMMENTS FROM THE AUDIENCE/STAFF ON ITEMS NOT ON THE AGENDA**
- D. ADOPTION OF THE OCTOBER 4, 2016 & OCTOBER 13, 2016 PLANNING COMMISSION MINUTES**
- E. PUBLIC HEARING**
 - 1. DESIGN REVIEW FOR SINGLE-FAMILY RESIDENCE AT 15 WALKER LANE (Page 9)**
 - a. Staff Report
 - b. Continue/Close Public Hearing
 - c. Planning Commission Discussion
 - d. Action
 - 2. CONDITIONAL USE PERMIT FOR ADDITION TO EXISTING DUPLEX AT 547 EL CAMINO REAL (Page 30)**
 - a. Staff Report
 - b. Open/Close Public Hearing
 - c. Planning Commission Discussion
 - d. Action
 - 3. DESIGN REVIEW FOR WALNUT GROVE APARTMENTS AT 1002 WALNUT AVENUE (Page 40)**
 - a. Staff Report
 - b. Open/Close Public Hearing

- c. Planning Commission Discussion
- d. Action

4. DESIGN REVIEW FOR CARL’S JR. RESTAURANT ON WALNUT AVENUE BETWEEN 3RD STREET AND 4TH STREET AS PART OF WALNUT AVENUE SPECIFIC PLAN AREA (Page 71)

- a. Staff Report
- b. Open/Close Public Hearing
- c. Planning Commission Discussion
- d. Action

5. SOUTH END ANNEXATION “THE VINES” RESIDENTIAL SUBDIVISION VESTED TENTATIVE MAP APPROVAL (Page 94)

- a. Staff Report
- b. Continued/Close Public Hearing
- c. Planning Commission Discussion
- d. Action

F. COMMENTS FROM PLANNING COMMISSION AND STAFF

G. ADJOURNMENT

CALL TO ORDER

Chair Tipton called the meeting to order 6:04 p.m.

ROLL CALL

Present: Chair Tipton, Vice-Chair Brueggeman, Commissioners Martinez, Ramirez and Castillo

Absent: None

Staff: Community Services Director Steinmann & Deputy City Clerk Gomez

Guest: Tad Stearn, Geary Coats, Charles Pelletier,

ADOPTION OF THE JUNE 7, 2016 PLANNING COMMISSION MINUTES

A Motion by Vice-Chair Brueggeman seconded by Commissioner Martinez to approve the June 7, 2016 Planning Commission minutes. All in favor. Motion carried.

DESIGN REVIEW FOR SINGLE-FAMILY RESIDENCE AT 3 MORENO AVENUE

Staff report was given by Community Services Director Steinmann.

Chair Tipton opened public comment at 6:16 pm.

No comments were received.

Chair Tipton closed public comment at 6:17 pm.

Planning Commission were in consensus that the design did not fit into the existing subdivision and requested the applicant to redesign the plan.

A Motion by Commissioner Ramirez seconded by Vice-Chair Brueggeman not to approve the design for 3 Moreno Avenue. All in favor. Motion carried.

DESIGN REVIEW FOR SINGLE-FAMILY RESIDENCE AT 15 WALKER LANE

Staff report was given by Community Services Director Steinmann.

Chair Tipton opened public comment at 6:20 pm.

No comments were received.

Chair Tipton closed public comment at 6:25 pm.

Planning Commission were in consensus that the design did not fit into the existing subdivision and requested the applicant to redesign the plan.

A Motion by Vice-Chair Brueggeman seconded by Commissioner Ramirez not to approve the design for 15 Walker Lane. All in favor. Motion carried.

DESIGN REVIEW FOR DOLLAR GENERAL RETAIL STORE DEVELOPMENT AT 300 BLOCK OF EL CAMINO REAL

Staff report was given by Community Services Director Steinmann.

Chair Tipton opened public comment at 6:26 pm.

Lester Arbrun, 811 Apple Avenue, had concerns with traffic in the alley due to truck deliveries and its new activity for the business.

Charlie Pelletier, design manager for Dollar General stated that the alley was not intended to be used for delivery and agreed to redesign to close out the access to the alley.

Commissioner Ramirez was not in favor of the project.

A Motion by Commissioner Castillo seconded by Commissioner Martinez to approve the design review for Dollar General. Ayes: Chair Tipton, Vice-Chair Brueggeman, Commissioner Martinez and Castillo. Noes: Commissioner Ramirez. Motion carried.

SOUTH END ANNEXATION PROJECT REVIEW, CERTIFY SUPPLEMENTAL ENVIRONMENTAL IMPACT REPORT, ADOPT MITIGATION MONITORING AND REPORTING PROGRAM, APPROVE PREZONING, AND REVIEW MAJOR SUBDIVISION VESTING TENTATIVE MAP

Staff report was given by Community Services Director Steinmann and Planning Consultant Tad Stearn.

Chair Tipton opened public hearing at 7:04 pm.

Geary Coats was present on behalf of the property owners was in favor of staff's recommendations.

Randy Pura was in favor of the project.

Chair Tipton closed public hearing at 7:25 pm.

A Motion by Commissioner Ramirez seconded by Commissioner Martinez to continue review of the major subdivision vesting tentative map to November 1, 2016 and approved resolution 2016-

16 recommending that the City Council: (1) certify the Final SEIR; (2) adopt the Mitigation Monitoring and Reporting Program; (3) approve the rezoning of the site to R-L (Single Family Residential), C-H (Highway Commercial) with GMO (Gateway and Mixed Use Overlay), I-H (Heavy Industrial), and PQP (Public/Quasi Public); and (4) direct staff to move forward with an application to LAFCO for annexation of the project area based upon these approvals. All in favor. Motion carried.

RECOMMENDATION THAT THE CITY COUNCIL APPROVE A DEVELOPMENT AGREEMENT WITH GOLDEN STATE ALTERNATIVE CARE, INC., FOR MEDICAL MARIJUANA CULTIVATION AND MANUFACTURING FACILITIES AT 721 EL CAMINO REAL

Staff report was given by Community Services Director Steinmann.

Chair Tipton opened public hearing at 7:39 pm.

Brent Slama, 220 Alves Lane, expressed his personal feelings and concerns for the project and their anticipation to begin the process. He suggested if Planning Commission was going to consider development of marijuana facilities on the El Camino Real corridor, they look for permanent high scale building be added because he felt they would do well in those locations.

Chair Tipton closed public hearing at 8:10 pm.

Vice-Chair Brueggeman had concern of water usage for the projects.

A Motion by Chair Tipton seconded by Vice-Chair Brueggeman to continue the item for further review. Meeting to be scheduled on October 13, 2016. All in favor. Motion carried.

RECOMMENDATION THAT THE CITY COUNCIL APPROVE A DEVELOPMENT AGREEMENT WITH GREENFIELD ORGANIX, INC., FOR MEDICAL MARIJUANA CULTIVATION AND MANUFACTURING FACILITIES AT 900 CHERRY AVENUE

Staff report was given by Community Services Director Steinmann.

Chair Tipton opened public hearing 8:19 pm.

Brent Slama commented on behalf of Greenfield Memorial District at 615 El Camino Real. He said their main concern was aesthetics and security. He also would like to review the initial study.

Sal Palma, applicant, was present and stated he was willing to discuss and address any issued the Planning Commission had.

Chair Tipton closed public hearing at 8:25 pm.

A Motion by Commissioner Ramirez seconded by Vice-Chair Brueggeman to continue the item for further review. Meeting to be scheduled on October 13, 2016. All in favor. Motion carried.

COMMENTS FROM PLANNING COMMISSION AND STAFF

Vice-Chair Brueggeman asked Deputy City Clerk to re email the agenda as separate agenda items.

Chair Tipton will not be available for the November 1, 2016 Planning Commission Agenda.

ADJOURNMENT

Chair Tipton adjourned the meeting at 8:41pm.

Chair of the Planning Commission

Secretary of the Planning Commission

CALL TO ORDER

Chair Tipton called the special meeting to order at 6:01 pm.

ROLL CALL

Present: Chair Tipton, Vice-Chair Brueggeman, Commissioners Martinez, Ramirez and Castillo

Absent: None

Staff: Community Services Director Steinmann and Deputy City Clerk Gomez

Guest: None

PUBLIC COMMENTS FROM THE AUDIENCE/STAFF ON ITEMS NOT ON THE AGENDA

No comments were received.

CONTINUED PUBLIC HEARING OF RECOMMENDATION THAT THE CITY COUNCIL APPROVE A DEVELOPMENT AGREEMENT WITH GOLDEN STATE ALTERNATIVE CARE, INC., FOR MEDICAL MARIJUANA CULTIVATION AND MANUFACTURING FACILITIES AT 721 EL CAMINO REAL

Staff report was given by Community Development Director Steinmann.

Commander Allen stated that he had reviewed the security plan of the facilities and asked that the police department be included in the permit review process.

Chair Tipton opened the public hearing 6:20 p.m.

Trinh Retterer of L&G who represented Golden State Alternative Care, Inc., stated that she was available to answer any questions regarding the business aspects.

Chair Tipton closed the public hearing at 6:22 p.m.

Commissioner Ramirez asked about safety hazard and what their process would be. Sal Palma gave a brief explanation on how the process worked.

Commissioners Martinez and Castillo were glad to hear the new information that was provided.

Chair Tipton requested that Planning Commission be included in any future projects that come before City Council in way of a joint meeting.

A Motion by Vice-Chair Brueggeman, seconded by Commissioner Castillo to recommend the City Council Approve a Development Agreement with Golden State Alternative Care, Inc. for Medical Marijuana Cultivation and Manufacturing facilities at 721 El Camino Real. All in favor. Motion carried.

CONTINUED PUBLIC HEARING OF RECOMMENDATION THAT THE CITY COUNCIL APPROVE A DEVELOPMENT AGREEMENT WITH GREENFIELD ORGANIX, INC., FOR MEDICAL MARIJUANA CULTIVATION AND MANUFACTURING FACILITIES AT 900 CHERRY AVENUE

Staff report given by Community Development Director Steinmann.

Commander Allen requested that the same comments made for 721 El Camino Real apply to 900 Cherry Avenue as well.

Chair Tipton opened the public hearing 7:20 p.m.

Sal Palma was present to answer questions Planning Commission had.

Chair Tipton closed public hearing at 7:25 pm.

Chair Tipton requested information on the backup plan for security. Sal Palma provided that information.

A Motion by Commissioner Ramirez, seconded by Commissioner Martinez to recommend the City Council Approve a Development Agreement with Greenfield Organix, Inc. for Medical Marijuana Cultivation and Manufacturing facilities at 900 Cherry Avenue. All in favor. Motion carried.

COMMENTS FROM PLANNING COMMISSION AND STAFF

Vice-Chair Brueggeman thanked Golden State Alternative and Greenfield Organix for returning and providing information as requested.

ADJOURNMENT

Chair Tipton adjourned the meeting at 7:30 pm.

Chair of the Planning Commission

Secretary of the Planning Commission



Planning Commission Report

599 El Camino Real Greenfield CA 93937 831-674-5591
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DATE: October 21, 2016

AGENDA DATE: November 1, 2016

TO: Planning Commissioners

PREPARED BY: Mic Steinmann, Community Services Director

TITLE: **DESIGN REVIEW FOR SINGLE-FAMILY RESIDENCE AT
15 WALKER LANE**

PREVIOUS PLANNING COMMISSION ACTION

At the October 4, 2016, the Planning Commission held public hearing and considered a design review application for construction of a single family residence at 15 Walker Lane. The Planning Commission found that the proposed project was not reflective of or consistent with the design of other homes in the same subdivision, the St. Charles subdivision. It was dissimilar to other homes in the subdivision relating to the size of the home on the particular lot, its setback from the side property lines, the exterior detailing, the placement of the garage, the frontage along the rear alley, the large side yard, and the overall site layout. The architecture, including the character, scale, and quality of the design, and its relationship with the site presented a design concept that was not consistent with the character and appearance of the neighborhood and the subdivision in which it is located.

The Planning Commission did not approve the design review application. The applicant was requested to redesign the single-family residence to be consistent with and compatible with the design style, setbacks, exterior detailing, site layout, and building size of other single-family residences in the St. Charles subdivision on similarly sized lots. The applicant has redesigned the project. The Planning Commission is asked to again review the design review application based on the new design.

AUTHORITY AND PROCEDURES

Section 17.10.040 of the City of Greenfield zoning code sets forth the responsibilities of the Planning Commission. Those responsibilities include hearing and deciding applications for

design review. For design review, the Planning Commission is the designated Approving Authority. The zoning code requires design review for all single-family residential development. The purpose of design review is set forth in section 17.16.070.A of the zoning code:

The purpose of the design review process is to promote the orderly and harmonious growth of the city, to encourage development in keeping with the desired character of the city; to ensure physical, visual, and functional compatibility between uses; and to help prevent the depreciation of land values by ensuring proper attention is given to site and architectural design.

It is the responsibility of the Planning Commission to “approve, conditionally approve, or deny the proposed design review application.” As part of the design review process, the Planning Commission may require that “the applicant modify plans in whole or in part and may condition the design review approval to ensure inclusion of specific design features, use of specific construction materials, and conformance with all applicable provisions of this title” (section 17.16.070.F).

Section 17.16.070.E requires that design review approval or any modification thereto may be granted only when the Planning Commission makes all of the following findings:

1. Any two-story construction requires notification of property owners pursuant to section 17.14.040, “Public Notices,” of this title;
2. The proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan provisions, planned unit development provisions, applicable city design guidelines, and improvement standards adopted by the city;
3. The proposed architecture, site design, and landscape design are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and the community;
4. The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties;
5. The proposed project addresses vehicular, bicycle, and pedestrian transportation modes of circulation; and
6. For specific plans and planned unit development design review application, the proposed project is well integrated with the city’s street network, creates unique neighborhood environments, employs architectural design that fosters sense of community, and contributes to a pedestrian oriented environment.

BACKGROUND AND PROJECT DESCRIPTION

Arroyo Seco/St. Charles Subdivision

In 2004 the City Council approved a development agreement with Creekbridge Homes, LP, for a single-family residential and mixed-use development for what was at that time known as the Arroyo Seco Subdivision (it is also known as the St. Charles subdivision) at the City's southern limits between Elm Avenue, El Camino Real, and U. S. Highway 101. When this subdivision was developed in the 2005-2007 timeframe, approximately 164 single-family residences were planned. The development standards specified the following residential permitted uses:

- Single Family Home, Cottage (35' frontage lot)
- Single Family Home, Small (45' frontage lot)
- Single Family Home, Large (55' frontage lot)
- Single Family Home, Villa (65' frontage lot)
- Carriage Apartments (permitted on 30% of the total number of lots 45' wide or greater)

The development standards also required two covered on-site parking spaces and one uncovered on-site parking space in front of the garage for each residential unit. Space for one optional uncovered parking space beside the garage is allowed. One additional covered on-site parking space is required for each carriage unit.

With the exception of single-story homes and townhomes, all homes were not to exceed 40% lot coverage. For single-story homes and townhomes, lot coverage was limited to a maximum of 50%.

This development project includes more than 20 different single-story and two-story plan sets, with different interior floor plans and exterior elevations. There were also alternative design concepts for carriage units. The plan sets identified appropriate models for each of the different lot frontages, e.g., Cottage, Small, and Large. Representative floor plans and exterior elevations for a two-story model with side-entry and carriage unit are attached.

The smaller Cottage model homes, for properties with 35' lot frontage, range between 1,200 square feet and 1,600 square feet. The Small model homes on properties with a 45' frontage range between 1,400 square feet and 2,200 square feet. Large homes having a 55' frontage are generally between 1,800 square feet and 2,600 square feet, some of which have a carriage unit. The largest Villa models, for properties with a 65' frontage, range between 2,300 square feet and 2,700 square feet, many of which have carriage units, which increases the total residential space to more than 3,000 square feet. The general concept is that smaller homes are on smaller lots and larger homes are on larger lots.

Existing Development

When the St. Charles subdivision was under construction in the 2005-2007 timeframe, approximately 151 homes were constructed and 13 lots remained undeveloped when the housing

bubble burst in 2008. The 13 vacant lots have remained so since 2008. Recently, a number of these vacant lots have been sold.

Adam Rendon has purchased one of the vacant parcels at 15 Walker Lane, APN: 024-391-098. The parcel is approximately 7,150 square feet (65' x 110'). The property is zoned Single-Family Residential (R-L). The parcel is at the largely undeveloped northeast corner of the St. Charles subdivision that abuts Elm Avenue and U. S. Highway 101. A total of eight parcels front Walker Lane, only two of which are currently developed.

Proposed Development

Mr. Rendon proposes to construct a two-story, single-family residence with an attached carriage unit. The proposed residence is similar to other homes in the subdivision on similarly sized lots and the models that include a side entrance to the main residence and an attached carriage unit.

The primary residence is approximately 2,516 square feet of living space, the attached carriage unit is approximately 672 square feet, and the attached three-car garage is approximately 696 square feet. Total livable space is approximately 3,188 square feet plus the garage. The primary residence includes a living room dining room, kitchen, family room, guest bedroom/study, one half-bath, and laundry hook-ups on the first floor; with three bedrooms and two full bathrooms on the second floor. The carriage unit, located over the attached garage, includes a living/dining room, kitchen, one bedroom, and one full bath. The attached garage includes parking for three vehicles. Additional vehicle parking is provided adjacent to the garage/carriage unit and on the driveway apron. The proposed exterior is horizontal lap siding with an asphalt shingle roof. Covered porches/decks are proposed on both the first and second floors of the main residence. There is a small covered porch/deck for the carriage unit. Access to the carriage unit is from the rear alley. Entrance to the main residence is on the side of the house.

PROJECT ANALYSIS

CEQA

Projects consisting of construction of one single-family residence in a residential zone are categorically exempt from the requirements of CEQA (California Code of Regulations, Title 14, Chapter 3, Section 15303).

CONFORMANCE WITH GENERAL PLAN AND ZONING CODE

Land Use: The City of Greenfield general plan land use designation for this site is Low Density Residential with a zoning code designation as Single-Family Residential (R-L).

Lot Coverage: In the R-L zoning district, section 17.30.040 of the zoning code specifies a minimum lot area of 6,000 square feet and maximum lot coverage of 40%. The development agreement and vested tentative map for this subdivision allowed for a number of smaller lots and lot coverage of 40% for two-story units and 50% for single-story residences. The project consists of a 7,150 square foot parcel. The footprint of total proposed enclosed and covered

space is approximately 2,401 square feet, for lot coverage of 34%. This is similar to other similarly sized lots and homes in this subdivision.

Lot Dimensions: Minimum lot dimensions in the R-L zoning district are 60 feet width/frontage and 90 feet depth. The development agreement and vested tentative map for this subdivision allowed for lots with street frontage as little as 35 feet. The project parcel is 65 feet wide and 110 feet deep.

Height: Section 17.32.040 of the zoning code imposes a maximum height of the structure of 35 feet. The proposed single-family, two-story construction has a maximum exterior elevation of approximately 30'-4".

Setback: Required setbacks per the development agreement are: Front setback – 10 feet minimum and 25 feet maximum; side street setback – 10 feet minimum and 15 feet maximum; and side and rear setbacks – 5 feet minimum. All setbacks meet or exceed the minimum setback requirements of the development agreement. Within the St. Charles subdivision, homes are generally set back 5 feet from the side property line, except for homes that have a side entrance. The proposed home is set back 5 feet from the south property line. The home has a side entrance and the set-back from the north property line is 27 feet. The garage and carriage unit are set back 10 feet from the rear property line. The set-backs are consistent with similar side-entry homes in this subdivision and consistent with the requirements of the subdivision development agreement.

Accessory Structures: The proposed site plan does not indicate any accessory structures will be included in the project. The requirements of chapter 17.46, Accessory Structures, of the zoning code do not, therefore, apply.

Fences and Walls: The proposed project indicates a 6 foot fence will be constructed along the north and rear property lines. There is an existing fence along the southern side property line for the adjacent house. This fence will remain. The new fences will match the existing fence along the south property line. The rear fence along the alley is set back 10 feet from the property line, similar to other homes in this subdivision. The construction of any new fences or walls must also comply with the requirements of chapter 17.52, Fences and Walls, of the zoning code.

Landscaping: Being part of an approved subdivision, the landscaping requirements of chapter 17.54 of the zoning code apply. A preliminary landscaping plan was not, however, submitted as part of the design review application. The design review drawings do indicate, however, that the landscaping along the Walker Lane and rear alley street frontages will be consistent with the landscape scheme of the subdivision and neighboring properties. Street trees in the front and rear landscape strips will be provided.

Resource Efficiency: The resource efficiency standards of chapter 17.55 of the zoning code do not apply to residential projects with a total livable area less than 5,000 square feet.

Lighting: The outdoor lighting requirements of chapter 17.56 of the zoning code do not apply to single-family residential construction.

Parking: The development agreement for this subdivision requires the provision of two covered on-site parking spaces and one uncovered on-site parking space per home, with one additional covered on-site parking space for each carriage unit. The proposed project includes a three-car enclosed garage along with space for two uncovered parking spaces adjacent to the garage/carriage unit and space for one or two vehicles on the driveway apron. The parking meets the requirements of the zoning code and the subdivision development agreement. The location and setback for the garage is consistent with other homes in the subdivision.

Signage: The proposed project does not include any exterior signage. The requirements of chapter 17.62 of the zoning code do not, therefore, apply.

DESIGN FEATURES

Residential Unit Size: The approved development agreement and development standards for the St. Charles subdivision identify Large/Villa homes are permitted for properties with a 65 foot lot frontage. Homes on 65 foot wide lots in this subdivision are generally in the 2,300 square feet to 2,700 square feet range. The proposed home is for approximately 2,516 square feet for the main residence plus an approximate 672 square foot carriage unit. This is consistent with the development scheme of the subdivision and the relationship of the size of homes to the lots on which they are located.

Design Style: The proposed design is for a two-story home with horizontal lap siding and an asphalt shingle roof. Covered porches/decks are provided on both the first and second levels of the main residence. A small porch/deck is provided for the carriage unit. The proposed elevations and detailing are similar to other side entry/carriage unit models that have been developed on similarly sized lots in the subdivision.

Site Orientation: The proposed residential structure has a side entrance to the main residence and is set back 27 feet from the northern side property line. The proposed home, garage, side yard setbacks, and site layout and orientation for this project are consistent with the site layout of other side-entry homes in this subdivision.

Exterior Material: The proposed exterior finish of the new residence is horizontal lap siding. The roofing material is asphalt shingles.

Detailing: The proposed design indicates exterior detailing - doors, windows, door and window trim, eave overhangs, porches and decks, railings and stairs – similar to other homes in the subdivision.

RECOMMENDATION

The re-design of the proposed project is consistent with the design of other homes in the St. Charles subdivision. It is similar to other side-entry homes with carriage units in this subdivision in terms of the size of the home in relation to the size of the lot, its setbacks from the side and rear property lines, the exterior detailing, the placement of the garage, the frontage along the rear alley, the side yard for side-entry homes, and the overall site layout. The architecture, including

the character, scale, and quality of the design, and its relationship with the site presents a design concept that is consistent with the character and appearance of the neighborhood and the subdivision in which it is located. It is recommended that the Planning Commission approve this design review application.

PROPOSED MOTION

I MOVE THAT THE PLANNING COMMISSION ADOPT RESOLUTION 2016-21 GRANTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE WITH CARRIAGE UNIT AT 15 WALKER LANE SUBJECT TO THE CONDITIONS OF APPROVAL SPECIFIED THEREIN.

Attachments:

Walker Lane Residence Plans
Side Entry, Carriage Unit Model, Plans and Elevations

**CITY OF GREENFIELD PLANNING COMMISSION
RESOLUTION No. 2016-21**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
GREENFIELD GRANTING DESIGN REVIEW APPROVAL FOR THE
CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE WITH
CARRIAGE UNIT AT 15 WALKER LANE**

WHEREAS, an application for Design Review approval for the construction of a single-family residence with carriage unit at 15 Walker Lane, APN: 024-391-098, has been submitted to the City of Greenfield; and

WHEREAS, section 17.16.070 of the City of Greenfield Zoning Code requires Design Review for all single-family residential development; and

WHEREAS, section 17.10.040 of the City of Greenfield Zoning Code designates the Planning Commission as the Approving Authority for Design Review; and

WHEREAS, the proposed development is for single-family residential development with a carriage unit; and

WHEREAS, the Planning Commission shall approve, conditionally approve, or deny the proposed design review application in accordance with the requirements of section 17.16.070 of the City of Greenfield Zoning Code; and

WHEREAS, the Planning Commission shall grant Design Review approval only after making certain designated findings as set forth in section 17.16.070 of the City of Greenfield Zoning Code; and

WHEREAS, the application for Design Review was heard by the Planning Commission at a public meeting;

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Planning Commission of the City of Greenfield has considered all written and verbal evidence regarding this Design Review application at the public meeting and has made the following findings regarding the proposed development:

1. **FINDING:** That the proposed development is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan provisions, planned unit development provisions, applicable city design guidelines, and improvement standards adopted by the city.
 - (a) The location of the proposed development is in the Single-Family Residential (R-L) zoning district and is part of the St. Charles subdivision, consisting of single-family residences, some with carriage units.

- (b) The preliminary building and site plans indicate the new single-family residence with carriage unit will conform to applicable zoning regulations and the requirements of the St. Charles subdivision development agreement, including those relating to lot size and building coverage, building and site setbacks, building height, fences and walls, landscaping, and parking.
- 2. FINDING: That the proposed architecture, site design, and landscape design are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and the community.
 - (a) Exterior elevations and detailing are similar to or compatible with existing homes in the neighborhood and the subdivision.
 - (b) The site design is in conformity with the requirements of the zoning code and is an appropriate site layout for a side-entry, single-family residence with carriage unit within the St. Charles subdivision.
 - (c) The development of a single-family residence with carriage unit at the proposed location will enhance the character of the neighborhood and community by developing a currently vacant and undeveloped parcel within the St. Charles subdivision.
- 3. FINDING: That the architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.
 - (a) The architecture of the new residence, its scale, relationship with the site and neighboring residences, and building materials is similar to or compatible with other single-family residences in the neighborhood and subdivision in which it is located.
 - (b) Landscaping along Walker Lane and the rear alley will be consistent with the street-side landscaping of other residences within the St. Charles subdivision.
- 4. FINDING: That the proposed project addresses vehicular, bicycle, and pedestrian transportation modes of circulation.
 - (a) Three on-site enclosed parking spaces and a minimum of three uncovered parking spaces are provided. The zoning code and the development agreement for the St. Charles subdivision require a minimum of three enclosed parking spaces for single-family residences with a carriage unit plus one uncovered parking space.

BE IT FURTHER RESOLVED that the Planning Commission hereby grants design review approval to construct a single-family residence with carriage unit at 15 Walker Lane,

APN: 024-391-098, as indicated on the project plans reviewed by the Planning Commission and subject to the following conditions:

1. The residence shall be designed and constructed substantially as depicted on the plans submitted as part of this design review application. Minor modifications shall be reviewed and approved by the Planning Director. Major modifications shall require review and approval by the Planning Commission. The Planning Director shall make the determination whether any proposed modification is minor or major.
2. Final landscape and irrigation plans shall be submitted as part of the plan check process for issuance of a building permit. The final landscape and irrigation plans shall conform to all water conservation regulations issued by the State Water Resources Control Board, including use of drought tolerant species and water efficient drip or micro-spray irrigation systems. The final landscape plan will include the placement of street trees along Walker Lane and the rear alley consistent with the landscape scheme throughout the St. Charles subdivision.
3. The design and construction of the project shall comply with all applicable provisions of the City's Standard Conditions for Construction.

PASSED AND ADOPTED by the Planning Commission of the City of Greenfield, at a regularly scheduled meeting of the City Planning Commission held on the 1st day of November, 2016, by the following vote:

AYES, and all in favor, therefore, Commissioners:

NOES, Commissioners:

ABSENT, Commissioners:

Drew Tipton, Chairperson
Planning Commission

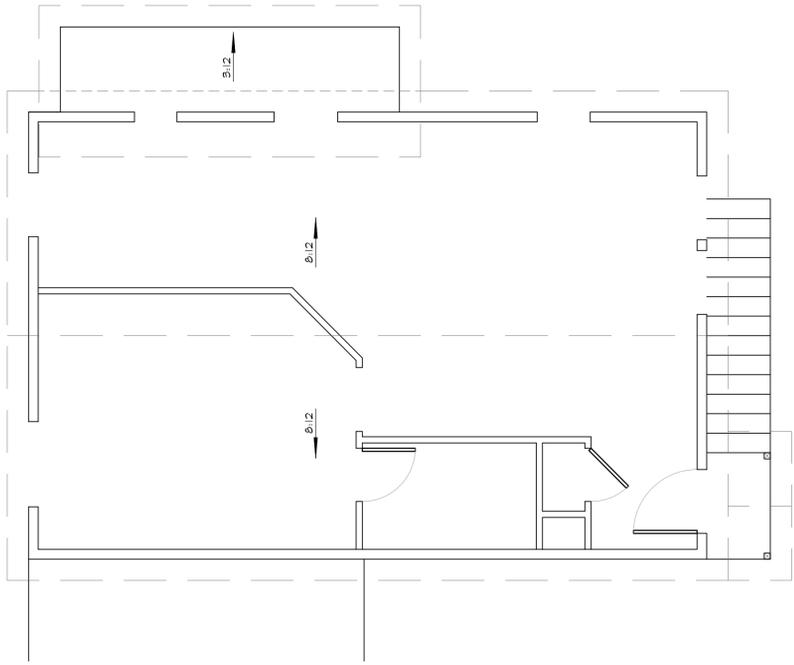
Attest:

Desiree Gomez, Secretary
Planning Commission

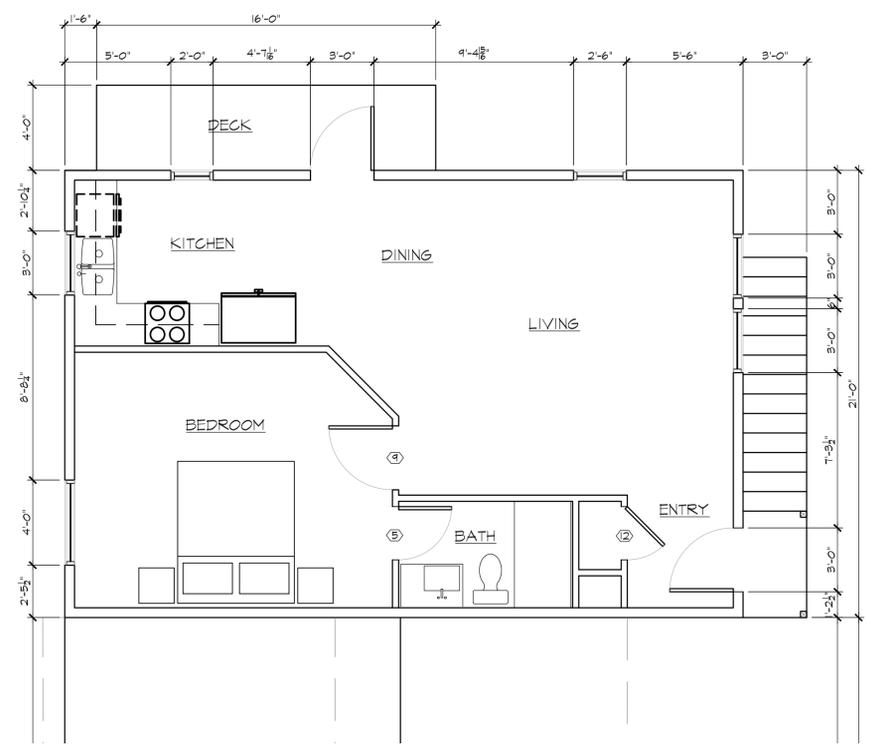


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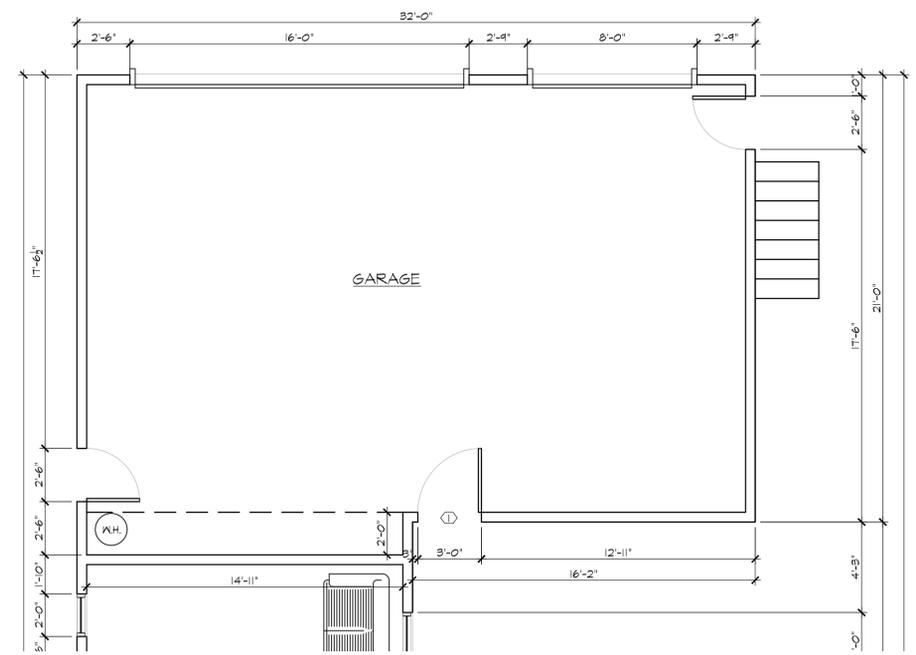
| ISSUE NO. | DATE | DESCRIPTION |
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| 1 | 7/28/16 | PLANNING |
| | | |
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| | | |



CARRIAGE UNIT ROOF PLAN
scale: 1/4" = 1'-0"



CARRIAGE UNIT SECOND FLOOR PLAN
scale: 1/4" = 1'-0"



GARAGE FLOOR PLAN
scale: 1/4" = 1'-0"

GARAGE / CARRIAGE UNIT

RENDON RESIDENCE
WALKER LANE
GREENFIELD, CA



PROJECT #: 046

A2.1



6660 Kim Ann Lane
Prunedale, CA 93907
adamrussellrendon@gmail.com
831.261.7416

| ISSUE NO. | DATE | DESCRIPTION |
|-----------|---------|-------------|
| 1 | 7/28/16 | PLANNING |
| | | |
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- ELEVATION KEYNOTES**
- 1 - ASPHALT SHINGLES, COLOR T.B.D.
 - 2 - HORIZONTAL LAP SIDING, COLOR T.B.D.
 - 3 - 2x6 FASCIA, COLOR T.B.D.
 - 4 - DECORATIVE WINDOW SHUTTERS

WEST ELEVATION

scale: 1/4" = 1'-0"



EAST ELEVATION

scale: 1/4" = 1'-0"

| MARK | WIDTH | HEIGHT | TYPE | REMARKS |
|------|-------|--------|-----------|---------|
| A | 3'0" | 4'0" | DBL. HUNG | |
| B | 2'6" | 6'0" | DBL. HUNG | |
| C | 3'0" | 5'0" | DBL. HUNG | |
| D | 3'0" | 6'0" | FIXED | |
| E | 2'0" | 4'0" | DBL. HUNG | |
| F | 2'0" | 2'0" | FIXED | |
| G | 4'0" | 4'0" | DBL. HUNG | |
| H | 3'0" | 3'0" | DBL. HUNG | |

| MARK | WIDTH | HEIGHT | TYPE | FRAME | THRESHOLD | HARDWARE | REMARKS |
|------|-------|--------|-----------------|-------|-----------|-------------------|------------------|
| 1 | 3'0" | 6'8" | SWINGING | WOOD | ALUMINUM | LEVER AND LOCKSET | |
| 2 | 2'6" | 6'8" | SWINGING | WOOD | | LEVER AND LOCKSET | |
| 3 | 3'0" | 6'8" | SWINGING | WOOD | | PRIVACY | CLASS BALCONY |
| 4 | 6'0" | 6'8" | DBL. SWINGING | WOOD | | LEVER AND LOCKSET | FRONT DOOR |
| 5 | 2'6" | 6'8" | SWINGING | WOOD | | PRIVACY | BATHROOM/BEDROOM |
| 6 | 3'0" | 6'8" | SWINGING | WOOD | | LEVER AND LOCKSET | |
| 7 | 2'6" | 6'8" | SWINGING | WOOD | | | LAUNDRY/CLOSET |
| 8 | 5'-9" | 6'8" | SLIDING | WOOD | | | CLOSET |
| 9 | 3'0" | 6'8" | SWINGING | WOOD | | PRIVACY | BEDROOM |
| 10 | 16'0" | 7'8" | OVERHEAD GARAGE | WOOD | | DOOR OPENER | |
| 11 | 8'0" | 7'8" | OVERHEAD GARAGE | WOOD | | DOOR OPENER | |
| 12 | 2'6" | 6'8" | SWINGING | WOOD | | | CLOSET |

EAST AND WEST ELEVATIONS

RENDON RESIDENCE
WALKER LANE
GREENFIELD, CA



PROJECT #:
046

A3.0

- ELEVATION KEYNOTES**
- 1 - ASPHALT SHINGLES, COLOR T.B.D.
 - 2 - HORIZONTAL LAP SIDING, COLOR T.B.D.
 - 3 - 2x6 FASCIA, COLOR T.B.D.
 - 4 - DECORATIVE WINDOW SHUTTERS



NORTH ELEVATION
scale: 1/4" = 1'-0"

GARAGE NORTH ELEVATION



SOUTH ELEVATION
scale: 1/4" = 1'-0"

GARAGE SOUTH ELEVATION



6660 Kim Ann Lane
Prunedale, CA 93907
adamrussellrendon@gmail.com
831.261.7416

| ISSUE NO. | DATE | DESCRIPTION |
|-----------|---------|-------------|
| 1 | 7/28/16 | PLANNING |

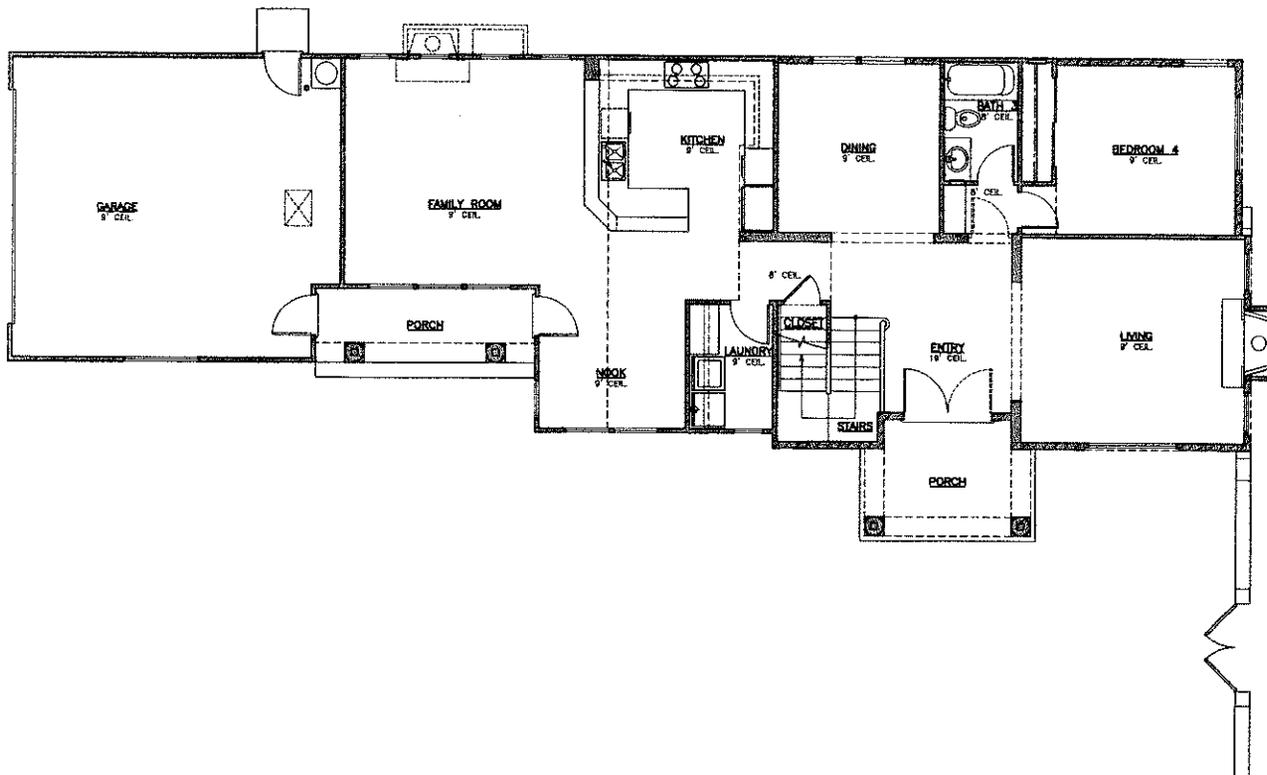
NORTH AND SOUTH ELEVATIONS

RENDON RESIDENCE
WALKER LANE
GREENFIELD, CA



PROJECT #:
046

A3.1



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

| SQUARE FOOTAGE | |
|-------------------|-----------|
| FIRST FLOOR | 1438 S.F. |
| SECOND FLOOR | 840 S.F. |
| GARAGE | 467 S.F. |
| TOTAL LIVING AREA | 2418 S.F. |

| REVISIONS | BY |
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John S. Campbell
 Architect
 11111 11th St.
 San Diego, CA 92121
 (619) 594-1111
 www.jscampbell.com



CREEKBRIDGE HOMES

FLOOR PLAN
PLAN 2418-A
55' LOT MIN.

CREEKBRIDGE HOMES
 21026 EAST BORONDA ROAD
 SALINAS, CA 93908-4834
 (831) 443-8633

DRAWN BY: G.V.
 CHECKED: J.C.
 DATE:
 SCALE: 1/4"= 1'-0"
 PROJECT: GROUND

SHEET
A21
 OF SHEETS



RIGHT ELEVATION



LEFT ELEVATION

| REVISIONS | BY |
|-----------|----|
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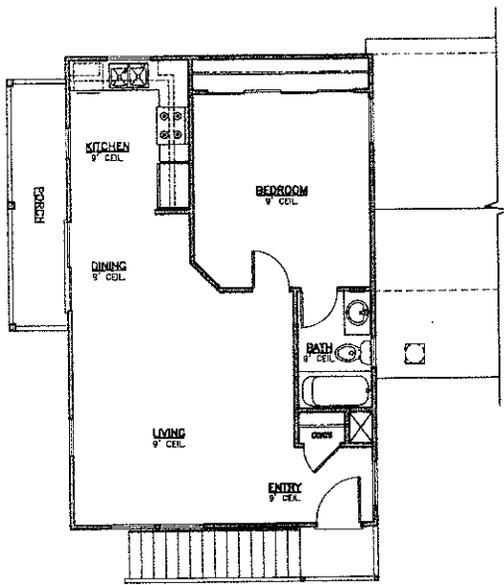
CREEKBRIDGE HOMES
 21025 EAST BORONDA ROAD
 SALINAS, CA 95068-4834
 (888) 443-6633

EXTERIOR ELEVATIONS
 PLAN 2418-B
 55' LOT MIN.

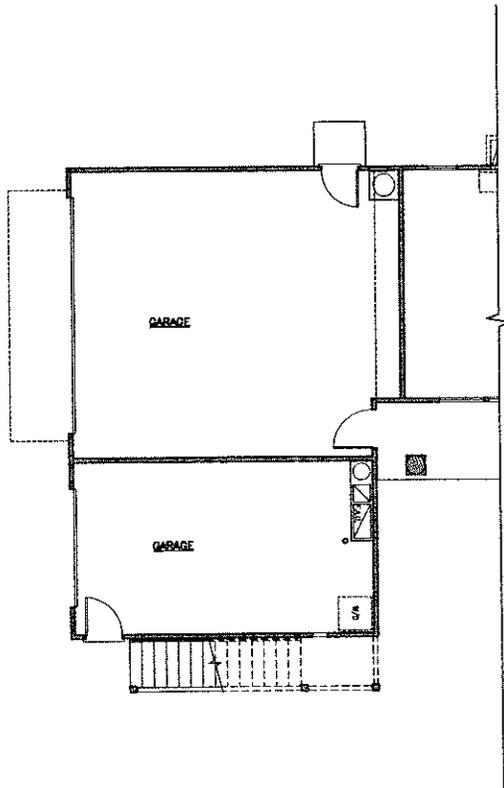
CREEKBRIDGE HOMES
 21025 EAST BORONDA ROAD
 SALINAS, CA 95068-4834
 (888) 443-6633

DRAWN BY: G.V.
 CHECKED:
 DATE:
 SCALE: 1/4"=1'-0"
 PROJECT: GOLF
 SHEET

A3.2
 OF SHEETS



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



FLOOR PLAN
SCALE: 1/4"=1'-0"

| SQUARE FOOTAGE | |
|-------------------|-----------|
| FIRST FLOOR | 848 S.F. |
| SECOND FLOOR | 878 S.F. |
| GARAGE | 878 S.F. |
| TOTAL LIVING AREA | 1726 S.F. |

| REVISIONS | BY |
|-----------|----|
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 CREEKBRIDGE HOMES
 21025 EAST BICRONDA ROAD
 SALINAS, CA 93906-4634
 (831) 443-6633

CARRIAGE APT. OPTION
FLOOR PLAN
PLAN 241B-A
55' LOT MIN.

CREEKBRIDGE HOMES
 21025 EAST BICRONDA ROAD
 SALINAS, CA 93906-4634
 (831) 443-6633

| | |
|-----------|--------------|
| DRAWN BY: | G.V. |
| CHECKED: | J.C. |
| DATE: | |
| SCALE: | 1/4" = 1'-0" |
| PROJECT: | GOLDEN |

SHEET
A21
 OF SHEETS



Planning Commission Report

599 El Camino Real Greenfield CA 93937 831-674-5591
www.ci.greenfield.ca.us

DATE: October 21, 2016

AGENDA DATE: November 1, 2016

TO: Planning Commissioners

PREPARED BY: Mic Steinmann, Community Services Director

TITLE: **CONDITIONAL USE PERMIT FOR ADDITION TO EXISTING DUPLEX AT 547 EL CAMINO REAL**

AUTHORITY AND PROCEDURES

Section 17.10.040 of the City of Greenfield zoning code sets forth the responsibilities of the Planning Commission. Those responsibilities include hearing and deciding applications for conditional use permits. For conditional use permits, the Planning Commission is the designated Approving Authority.

For legal nonconforming uses, section 17.84.020 of the zoning code provides that such use may be expanded by up to 25% of the gross building area through approval of a conditional use permit. For conditional use permits, section 17.16.060 specifies that conditional use permits shall be granted only when the Planning Commission determines that (1) the proposed use or activity is consistent with the general plan and all applicable provisions of the zoning code and (2) the establishment, maintenance, or operation of the proposed use will not under the circumstances of the particular case (location, size, design, and operating characteristics) be detrimental to the health, safety, peace, morals, comfort, or general welfare of the public. The Planning Commission may impose conditions and/or require performance guarantees for the conditional use permit to ensure compliance with applicable provisions of chapter 17.16 of the City of Greenfield municipal code and to prevent adverse or detrimental impacts to public health, safety, or welfare. To deny an application for a conditional use permit, the Planning Commission must do so “in writing and supported by substantial evidence contained in the written record.”

BACKGROUND AND PROJECT DESCRIPTION

Mr. Pedro de la Torre owns property at 547 El Camino Real that includes a single-family residence and a residential duplex unit. This property is in the Professional Office (P-O) zoning district, which does not allow single- or multi-family residences unless they are part of a mixed-use development. The current residential buildings and uses existed at the time the zoning code was adopted in 2007 and are, therefore, considered legal nonconforming uses.

Chapter 17.84 of the zoning code sets forth the conditions under which legal nonconforming uses may continue and even be expanded. Those regulations recognize that uses, structures, and lots that came into existence legally and in conformance with then applicable requirements should be allowed to continue to exist and be put to productive use. However, it is also the policy of the City, as set forth in section 17.84.010, to bring as many aspects of such situations into conformance with the zoning code as is reasonably practicable.

Under section 17.84.020 of the zoning code, legal nonconforming uses may be expanded by up to 25% with issuance of a conditional use permit, provided all off-site improvements, as identified by the City, are constructed by the property owner. Mr. de la Torre proposes to construct an addition to the existing residential duplex to provide one additional residential unit, which will be the home for Mr. de la Torre. To construct this residential addition, the Planning Commission must approve a conditional use permit. Since the proposed addition is for not more than 500 square feet, design review is not required.

Existing Development

The parcel at 547 El Camino Real is approximately 22,560 square feet, or one-half acre. The site contains a two-story, single-family residence and a separate residential duplex. The single-family residence is approximately 1,496 square foot per Monterey County Assessor records. The duplex is approximately 1,250 square feet, with each residential unit being approximately 625 square feet. Together, there is approximately 2,746 square feet of residential development on this property for the three residential dwelling units. The driveway and parking areas are unpaved surfaces.

Proposed Development

Mr. de la Torre proposes to construct a 500 square foot addition to the existing duplex, thereby converting this structure into a tri-plex. Mr. de la Torre intends to use this additional unit as his personal residence. The addition will be at the west end of the existing structure along the rear property line. The new unit will include a living/dining area, kitchen, one full bathroom, and one bedroom. Construction materials, doors, windows, roof, and covered walk-way will match or be similar to the existing duplex.

PROJECT ANALYSIS

CEQA

Projects consisting of additions to existing structures that do not increase the floor area by more than 50% or 2,500 square feet, whichever is less, are categorically exempt from the requirements of CEQA (California Code of Regulations, Title 14, Chapter 3, Section 15301).

CONFORMANCE WITH GENERAL PLAN AND ZONING CODE

Land Use: The City of Greenfield general plan land use designation for this site is Professional Office with a zoning code designation as Professional Office (P-O). Single- and multi-family development is not allowed in this zoning district unless it is part of a mixed-use development. The existing residential uses, being in existence when the current zoning code was adopted in 2007, are legal nonconforming uses. Such uses may be expanded by up to 25% upon issuance of a conditional use permit. The proposed addition of 500 square feet will increase the total gross square feet by approximately 18%.

Lot Coverage: In the P-O zoning district, there are no minimum lot size, maximum lot coverage, or minimum lot dimension requirements.

Height: The maximum height of structures in the P-O zoning district is 40 feet. The proposed single-story residential development is compliant with this restriction.

Setback: The set-back requirement in the P-O zoning district is 0 feet along all property lines.

Accessory Structures: No accessory structures will be included in the project.

Fences and Walls: No fencing or walls will be constructed as part of this project.

Landscaping: For residential projects, the landscaping requirements of chapter 17.54 of the zoning code apply only to new developments; not to additions to existing residential properties.

Resource Efficiency: The resource efficiency standards of chapter 17.55 of the zoning code do not apply to residential projects with a total livable area less than 5,000 square feet.

Lighting: Any outdoor lighting installed as part of this project shall comply with the outdoor lighting requirements of chapter 17.56 of the zoning code.

Parking: Chapter 17.58 of the zoning code requires all off-street vehicle parking be provided on paved surfaces. The existing development has an unpaved surface for all vehicle parking and access driveways. As a condition of approval, the required off-street vehicle parking areas and driveway access from El Camino Real should be improved with a paved surface as approved by the City Engineer. A minimum of nine parking spaces are required for the four residential units.

Signage: No exterior signage will be included in the project.

DESIGN FEATURES

Residential Unit Size: A 500 square foot one-bedroom addition is proposed to an existing residential duplex. The existing duplex is approximately 1,250 square feet.

Design Style and Materials: The proposed design for the addition is the same as for the exterior of the existing duplex. Construction materials, doors, windows, roof, and covered walkway will match or be similar to the existing duplex.

Health, Safety, Peace, Morals, Comfort, or General Welfare of the Public: The proposed project is the addition of a one-bedroom residential unit to an existing residential duplex. On the same site is a two-story, single-family residence. The property has direct vehicular access to El Camino Real. A sidewalk fronts El Camino Real along the entire street-front property line. Nothing about the location, size, design, or operating characteristics of the proposed residential use addition is detrimental to the health, safety, peace, morals, comfort, or general welfare of the public.

RECOMMENDATION

The residential property at 547 El Camino Real is in the Professional Office (P-O) zoning district. It is a legal nonconforming use. Expansion by no more than 25% of the current gross square footage is allowed with a conditional use permit. The proposed addition is near the rear of the property with little visibility from the public right-of-way. The exterior design and appearance of the addition will be similar to the existing duplex. Sufficient site area is available to accommodate all required off-street parking. The continued use of this property for residential purposes, and its proposed expansion, is in conformity with the legal nonconforming use requirements of the zoning code. It is recommended that the Planning Commission approve this conditional use permit application.

PROPOSED MOTION

I MOVE THAT THE PLANNING COMMISSION ADOPT RESOLUTION 2016-17 APPROVING A CONDITIONAL USE PERMIT FOR THE CONSTRUCTION OF AN ADDITION TO AN EXISTING RESIDENTIAL DUPLEX AT 547 EL CAMINO REAL SUBJECT TO THE CONDITIONS OF APPROVAL SPECIFIED THEREIN.

Attachments:

Existing Residential Photos

**CITY OF GREENFIELD PLANNING COMMISSION
RESOLUTION No. 2016-17**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
GREENFIELD APPROVING A CONDITIONAL USE PERMIT FOR THE
CONSTRUCTION OF AN ADDITION TO AN EXISTING RESIDENTIAL
DUPLEX AT 547 EL CAMINO REAL**

WHEREAS, the proposed development is for an addition to an existing residential duplex at 547 El Camino Real, APN: 024-012-011, located in the Professional Office (P-O) zoning district, where residential uses are not allowed except as part of a mixed-use development; and

WHEREAS, the residential use of this property was an existing use at the time the City's zoning code was adopted in 2007, thereby making this a legal nonconforming use; and

WHEREAS, section 17.84.020 of the City of Greenfield Zoning Code requires approval of a Conditional Use Permit for the expansion of a legal nonconforming use; and

WHEREAS, section 17.10.040 of the City of Greenfield Zoning Code designates the Planning Commission as the Approving Authority for Conditional Use Permits; and

WHEREAS, the Planning Commission shall approve, conditionally approve, or deny the proposed Conditional Use Permit application in accordance with the requirements of section 17.16.060 of the City of Greenfield Zoning Code, and only after making certain designated findings as set forth therein; and

WHEREAS, the Planning Commission may impose conditions and/or require performance guarantees for the Conditional Use Permit to ensure compliance with applicable provisions of title 17.16 of the City of Greenfield Zoning Code and to prevent adverse or detrimental impacts to public health, safety, or welfare; and

WHEREAS, the application for a Conditional Use Permit was heard by the Planning Commission at a duly noticed public hearing;

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Planning Commission of the City of Greenfield has considered all written and verbal evidence regarding this Conditional Use Permit application at the public meeting and has made the following findings regarding the proposed development:

1. **FINDING:** That the proposed use is consistent with the general plan and all applicable provisions of title 17.16 of the City of Greenfield municipal code.
 - (a) The existing residential development is a legal nonconforming use in the Professional Office (P-O) zoning district. Expansion of a legal nonconforming

residential use by no more than 25% of the existing gross square feet is allowed with approval of a conditional use permit. The proposed addition represents an expansion of the existing gross square feet of residential use by approximately 18%.

- (b) The proposed addition complies with all applicable zoning code requirements pertaining to lot coverage, building height, setbacks, fences, landscaping, resource efficiency, lighting, parking, and signage.
2. FINDING: That the establishment, maintenance or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of the public.
- (a) The proposed project is the addition of a one-bedroom residential unit to an existing residential duplex. On the same site is a two-story, single-family residence. The property has direct vehicular access to El Camino Real. A sidewalk fronts El Camino Real along the entire street-front property line.
 - (b) Nothing about the location, size, design, or operating characteristics of the proposed residential use addition is detrimental to the health, safety, peace, morals, comfort, or general welfare of the public

BE IT FURTHER RESOLVED that the Planning Commission hereby approves a Conditional Use Permit to construct an addition to an existing residential duplex at 547 El Camino Real, APN: 024-012-011, subject to the following conditions:

1. This conditional use permit applies only to and allows the construction of an approximate 500 square foot addition to the existing residential duplex to create one additional one-bedroom residential unit with kitchen and bathroom. Minor modifications shall be reviewed and approved by the Planning Director. Major modifications shall require review and approval by the Planning Commission. The Planning Director shall make the determination whether any proposed modification is minor or major.
2. Vehicular access from El Camino Real, the vehicle driveway, and vehicle parking areas shall be paved as required by section 17.58.040 of the City of Greenfield Municipal Code. Parking design and construction materials shall be approved by the City Engineer.
3. A Certificate of Occupancy for the new residential unit will not be issued until all required vehicle access, driveway, and parking area paving is completed and approved by the City.
4. The applicant shall prepare plans and specifications for the proposed addition and parking paving and shall apply to the City for the required building permit.

PASSED AND ADOPTED by the Planning Commission of the City of Greenfield, at a regularly scheduled meeting of the Planning Commission held on the 1st day of November, 2016, by the following vote:

AYES, and all in favor, therefore, Commissioners:

NOES, Commissioners:

ABSENT, Commissioners:

Drew Tipton, Chairperson
Planning Commission

Attest:

Desiree Gomez, Secretary
Planning Commission

CONDITIONAL USE PERMIT
547 El Camino Real
APN: 024-012-011

Project Description: Construction of a 500 square foot addition to an existing residential duplex at 547 El Camino Real in the City of Greenfield, CA, APN: 024-012-011

Planning Commission Approval: Resolution 2016-17

Approval Date: November 1, 2016

-
1. This conditional use permit applies only to and allows the construction of an approximate 500 square foot addition to the existing residential duplex to create one additional one-bedroom residential unit with kitchen and bathroom. Minor modifications shall be reviewed and approved by the Planning Director. Major modifications shall require review and approval by the Planning Commission. The Planning Director shall make the determination whether any proposed modification is minor or major.
 2. Vehicular access from El Camino Real, the vehicle driveway, and vehicle parking areas shall be paved as required by section 17.58.040 of the City of Greenfield Municipal Code. Parking design and construction materials shall be approved by the City Engineer.
 3. A Certificate of Occupancy for the new residential unit will not be issued until all required vehicle access, driveway, and parking area paving is completed and approved by the City.
 4. The applicant shall prepare plans and specifications for the proposed addition and parking paving and shall apply to the City for the required building permit.

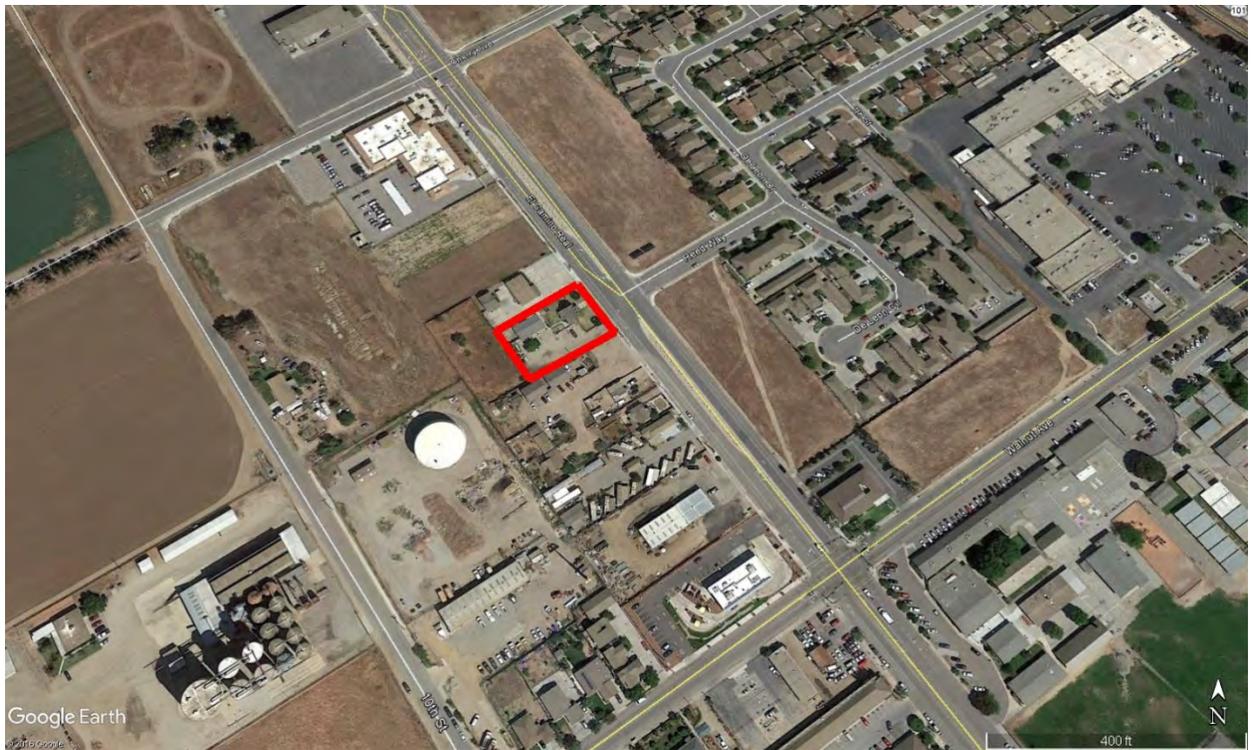
ACKNOWLEDGEMENT AND ACCEPTANCE

This Conditional Use Permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by applicant. The undersigned hereby acknowledges the approved terms and conditions, and agrees to conform to and comply with said terms and conditions of approval of this Conditional Use Permit.

Applicant

By:

Date







Planning Commission Report

599 El Camino Real Greenfield CA 93937 831-674-5591
www.ci.greenfield.ca.us

DATE: October 24, 2016

AGENDA DATE: November 1, 2016

TO: Planning Commissioners

FROM: Mic Steinmann, Community Services Director

TITLE: **DESIGN REVIEW FOR WALNUT GROVE APARTMENTS
AT 1002 WALNUT AVENUE**

AUTHORITY AND PROCEDURES

Section 17.10.040 of the City of Greenfield zoning code sets forth the responsibilities of the Planning Commission. Those responsibilities include, among others, hearing and deciding applications for design review, for which the Planning Commission is the designated Approving Authority. The zoning code requires design review for all multi-family residential development. The purpose of design review is set forth in Section 17.16.070.A of the zoning code:

The purpose of the design review process is to promote the orderly and harmonious growth of the city, to encourage development in keeping with the desired character of the city; to ensure physical, visual, and functional compatibility between uses; and to help prevent the depreciation of land values by ensuring proper attention is given to site and architectural design.

It is the responsibility of the Planning Commission to “approve, conditionally approve, or deny the proposed design review application.” As part of the design review process, the Planning Commission may require that “the applicant modify plans in whole or in part and may condition the design review approval to ensure inclusion of specific design features, use of specific construction materials, and conformance with all applicable provisions of this title” (Section 17.16.070.F).

Section 17.16.070.E requires that design review approval or any modification thereto may be granted only when the Planning Commission makes all of the following findings:

1. Any two-story construction requires notification of property owners pursuant to section 17.14.040, “Public Notices,” of this title;
2. The proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan provisions, planned unit development provisions, applicable city design guidelines, and improvement standards adopted by the city;
3. The proposed architecture, site design, and landscape design are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and the community;
4. The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties;
5. The proposed project addresses vehicular, bicycle, and pedestrian transportation modes of circulation; and
6. For specific plans and planned unit development design review application, the proposed project is well integrated with the city’s street network, creates unique neighborhood environments, employs architectural design that fosters sense of community, and contributes to a pedestrian oriented environment.

BACKGROUND AND PROJECT DESCRIPTION

Existing Development

The site for the Walnut Grove apartment project is a vacant and undeveloped 4.2 acre parcel at the northwest corner of Walnut Avenue and 10th Street. The site is zoned Multiple Family Residential (R-M).

Adjacent Development

The project site is bounded by Kraft Foods agricultural facility and grain storage towers to the north, residential properties and the City’s Public Works Yard to the east, residential properties (single-family, residential duplex, and multi-family) to the south and southeast, and undeveloped land to the west. The undeveloped property to the west is also zoned Multiple Family Residential (R-M) and to the west of that property is existing single and multi-family residential development at 12th Street.

Proposed Development

The Walnut Grove project is a 64 unit apartment development located at 1002 Walnut Avenue (northwest corner of Walnut Avenue and 10th Street). The project will be developed by Corporation for Better Housing, a 501 (c)(3) non-profit organization. Founded in 1995, its mission is to “provide low to moderate income seniors and families with safe, quality, affordable, housing, coordinated access to enhanced social service programs and the dignity and peace of mind which create a better living environment.” Its goal is to develop affordable multifamily housing projects in underprivileged communities.

This LEED Platinum development will consist of 8 two bedroom, 32 three bedroom and 24 four bedroom units. These units are located in four garden style walk up apartment buildings, each with 16 apartments. On-site amenities include a 1,500 square foot community center with computer lab, kitchen, administrative office, restrooms, and a resident laundry facility; community gardens; a tot lot; barbeque areas; a full size basketball court; and open play/activity yard areas. The primary vehicle access will be from 10th Street, with secondary access from Walnut Avenue. Emergency vehicle access will be from both 10th Street and Walnut Avenue.

The 2-bedroom units total 798 square feet each, the 3-bedroom units are 1,028 square feet each, and the 4-bedroom units are each 1,206 square feet. Each residential unit includes a living room, dining area, kitchen, and an outdoor patio. The 2-bedroom units have a single bathroom while the 3- and 4-bedroom units have two full bathrooms. The community center is 1,500 square feet, including computer area, kitchen, restrooms, and administrative office. A 200 square foot laundry center, with seven washers and seven dryers, is adjacent to the community center. The total built space is 37,547 square feet.

The project will be funded with USDA Section 514 funds and 9% tax credits. Both of these funding sources require a deed restriction ensuring that the project will remain an affordable housing project for 55 years. Adjusted Median Income (AMI) levels for tenants will range between 30% and 60% of the area adjusted median income (AMI). Sixty-three of the units will be income restricted and the remaining unit will not because it will be the on-site manager’s unit.

Corporation for Better Housing (the project’s Managing General Partner) will provide on-site empowerment services to all development residents free-of-charge. Services include ESL classes, workforce training, and after-school programs for school age children. The development also has a computer lab which residents can use free-of-charge.

PROJECT ANALYSIS

CONFORMANCE WITH GENERAL PLAN AND ZONING CODE

Land Use/Density: The City of Greenfield general plan land use designation for this site is Medium Density Residential with a zoning code designation as Multi-Family Residential (R-M). The R-M zoning district has an allowed maximum density of 15 units per acre. The proposed 64-unit project on 4.2 acres equates to 15 units per acre. Section 17.50.030 of the zoning code provides for a density bonus of up to 35% for housing projects that provide more than 10% low

income restricted units or more than 5% very low income restricted units. The proposed project is income restricted between 30% and 60% of the area AMI, thereby entitling it to a density bonus. Under either analysis, the proposed project conforms to the maximum density allowed in the R-M zoning district.

Lot Coverage: In the R-M zoning district, Section 17.30.040 of the zoning code specifies a minimum lot area of 6,000 square feet and maximum lot coverage of 40%. The project parcel is approximately 4.2 acres or 182,634 square feet. Total proposed enclosed space is 37,547 square feet and covered parking space is approximately 13,900 square feet, for lot coverage of 28%.

Lot Dimensions: Minimum lot dimensions in the R-M zoning district are 60 feet width/frontage and 90 feet depth. The project parcel is 630 feet wide along Walnut Avenue and 300 feet deep.

Setback: Required minimum setbacks are: Front Setback – 10 feet; Rear, two story – 15 feet; Street Side – 10 feet, and Interior – 5 feet. The proposed site plan meets or exceeds each of these minimum setback requirements.

Height: Section 17.32.040 of the zoning code imposes a maximum height of the structure of 35 feet. The proposed development is two-story with a maximum exterior elevation of approximately 21 feet.

Accessory Structures: Section 17.46.030 of the zoning code sets forth minimum setback distances for accessory structures from property lines and between accessory structures. The location of the proposed covered carports and trash enclosures complies with the zoning code requirements related to minimum setback distances for accessory structures from property lines and between accessory structures.

Fences and Walls: The proposed project includes the construction of an 8 foot high CMU block wall along the rear property line adjoining the Kraft Foods agricultural facility and grain storage towers. Wrought iron fencing around the balance of the site is 6 feet high. Section 17.52.030 of the zoning code limits perimeter fencing or walls to 6 feet; however, the Planning Commission may grant additional height to screen specific area or uses. The additional height of the block wall along the Kraft Foods property line is intended to provide additional screening and noise attenuation from the adjacent “industrial” use and grain storage towers. Allowing increased height of the block wall is appropriate for these purposes.

Landscaping: The preliminary landscape plan submitted as part of the design review application indicates approximately 45% of the total site area will be landscape and open space. Section 17.54.040 of the zoning code requires minimum landscape coverage of 25%. Landscaping strips are provided around the perimeter of the property with a 30 foot landscape/bio-swale strip along the block wall adjacent to the Kraft Foods property. Significant landscaping and a variety of trees are proposed for that area to provide additional buffering, screening, and sound attenuation. Landscaping between and around the residential units includes lawn areas, artificial turf, trees of a variety of types and sizes, shrubs, and other California native drought tolerant plantings.

A Clark Colony water line is along Walnut Avenue under the general area of the proposed sidewalk. To protect the integrity of this water line, street trees along Walnut Avenue shall be avoided.

The zoning code requires landscape islands in parking lots. However, section 17.54.020 allows modification of this requirement when the proposed alternative will be equally effective in achieving the intent of that chapter. The stated purpose of the landscaping chapter of the zoning code includes enhancement of the appearance of developments, reduction of heat and glare, and buffering between residential and nonresidential land uses. The proposed landscape scheme for the entire project exceeds the requirements of the zoning code.

The inclusion of covered parking for 86 spaces, which is not required under the zoning code, provides significant shading for vehicles. The inclusion of covered parking is also provided to accommodate the installation of solar panels that will enable the project to achieve a “net zero energy” consumption whereby all energy consumption is off-set by on-site solar energy production. A 30 foot landscape/bio-swale strip along the block wall adjacent to the Kraft Foods property provides a significant landscape buffer between this residential project and the adjacent “industrial” use of Kraft Foods and its grain towers. The inclusion of parking lot landscape islands would necessitate either the reduction of on-site parking or reconfiguration of the site plan to replace proposed landscape areas with additional parking.

The proposed landscape scheme is consistent with the intent of chapter 17.54, Landscaping, of the zoning code to enhance the appearance of developments, reduce heat and glare, and provide a buffer between residential and nonresidential land uses. It is the recommendation of the Planning Director that the parking and landscape scheme be approved by the Planning Commission as presented. Final landscape and irrigation plans will be submitted by the applicant and approved by the Planning Director prior to issuance of a building permit.

Resource Efficiency: The resource efficiency standards of Chapter 17.55 of the zoning code apply to all residential projects with a total livable area more than 5,000 square feet. Prior to issuance of a building permit, the applicant will be required to demonstrate to the satisfaction of the Planning Director that the project will comply with the resource efficiency standards of section 17.55.030 of the zoning code. These standards relate to recycling and diversion of construction waste, water use efficiency, energy efficiency, gray water irrigation systems, and use of postconsumer recycled construction materials. The project is proposed for LEED Platinum certification which requires incorporation of substantial resource efficiency measures that exceed the minimum requirements of the zoning code.

Lighting: All new multi-family residential development is subject to the outdoor lighting requirements of Chapter 17.56 of the zoning code. The project’s outdoor lighting scheme will be reviewed during the plan check process, and a building permit will not be issued if any proposed outdoor lighting is not in compliance with those requirements

Parking: Section 17.58.050 of the zoning code requires a minimum of two off-street parking spaces per residential unit plus one guest parking space for each four residential units. For each 4-bedroom unit, one additional parking space is required. For the proposed 64 unit complex, a

minimum of 152 on-site tenant parking spaces and 16 guest parking spaces must be provided, for a total of 168 parking spaces. Accessible parking must be provided in accordance with the uniform building code and the Americans with Disabilities Act. A total of 152 tenant and 16 guest parking spaces are provided, including 8 accessible parking spaces. Of the total parking spaces, 86 are covered and 82 are uncovered. The zoning code does not require any covered parking for multi-family complexes. Covered parking is provided to accommodate the installation of solar panels on the deck-top of the covered parking spaces. All guest parking is uncovered. Security gates are provided at access to the resident parking areas from Walnut Avenue and 10th Street. The proposed project complies with the minimum off-street parking requirements of the zoning code.

Section 17.58.100 of the zoning code requires the provision of bicycle spaces equal to 20% of the required vehicle spaces. This equates to a requirement for 34 bicycle parking spaces. The preliminary site plan indicates a total of 64 bicycle racks will be provided at multiple locations adjacent to each of the four apartment buildings. This exceeds the minimum bicycle parking requirements of the zoning code.

Signage: A monument sign at the Walnut Avenue/10th Street intersection is approximately 4'-10" tall and 22' wide. Building signage is exempt from sign permit and city review requirements.

DESIGN FEATURES

Building Design and Features: Innovative design and sustainable building methods will be hallmarks of the development. The architecture of the buildings is of Spanish influence and utilizes a light and neutral color palette which varies building to building. Materials include stucco facades, tile roofs, fabric awnings, wood timbered patio covers, and wrought iron fencing. The northern boundary of the site has CMU block wall and a thirty foot landscape area to soften the visual impact of the surrounding uses.

Environmentally conscious design and building methods are captured/detailed/highlighted by the various State/National Green Certification Programs the development will participate in, including:

- **LEED Platinum** – The development will be the 2nd LEED Platinum multifamily housing development in Monterey County and the first in Greenfield
- **Department of Energy (DOE) Zero Energy Ready Home Program** – Through its energy efficiency and durable design, the development will be the 1st DOE Zero Energy Ready Home certified development in Monterey County.
- **Net Zero Energy** – The development will be the 1st Net Zero Energy development in Monterey County. The site is designed to off-set 100% of the on-site energy demand through solar panels. The site is powered 100% by electricity and is 100% fossil fuel free.

- **Off-Grid** – 5% of the total electrical load will be generated through the use of individual Solar Thermal Preheat systems. This design will reduce the development’s demand and reliance on the electrical grid.
- **Energy Star for Homes** – By participating in rigorous on-site inspections and testing to verify specific energy efficiencies, the development will be certified through the Energy Star for Homes (V3) program.
- **WaterSense** – Through innovative design and forethought, the development will contribute to fighting the current California drought. The site utilizes highly efficient air source heat pumps to deliver immediate hot water within the units and will utilize low flow water fixtures to significantly reduce water waste. Utilizing these systems in other developments completed by the project developer has achieved on average a 30% reduction in domestic water usage.

Landscaping will include artificial turf and California native drought tolerant plants which are irrigated exclusively through a smart low flow drip system. The project developer has achieved reductions of over 70% in other developments utilizing these systems. Based on the LEED for Homes Calculator for Outdoor Water Demand, the system as designed is anticipated to reduce outdoor water demand by 77% or 3,100,000 gallons of water a year.

- **Indoor Air Quality Plus** – Each unit will be constructed using low voc and high ventilation standards to improve the livability of the units over the long term.

Circulation: Primary vehicular access to the property is from 10th Street. A secondary entrance is from Walnut Avenue. The internal driveway is 20 feet wide, sufficient in width for two-way traffic and fire department access. Turning radii should be sufficient for fire truck access but will be confirmed by the Fire Marshall during plan check. Security gates with approved emergency vehicle access control will be provided at both the Walnut Avenue and 10th Street vehicle entrances, setback a minimum of 30 feet from the curb face as required by the Fire Marshall. Internal pedestrian walkways connect to new sidewalks that will be constructed along the Walnut Avenue and 10th Street frontages.

Site Amenities: The proposed development includes a community center with a kitchen, restrooms, an administrative office, and a computer center with five public computers. Adjacent to the community center is an on-site laundry facility with seven washers and seven dryers. Laundry hook-ups are not provided in individual residential units. A tot lot/play area is also provided, as are barbeque areas, community gardens, a full-size basketball court, and open green space for play and activity areas. Two trash and recycling dumpster areas are distributed throughout the site. Screening around the dumpster areas is provided.

COMMUNITY/NEIGHBORHOOD IMPACT

The project is located in a multi-family residential zoning district. The proposed construction is consistent with all applicable zoning code requirements. Any impact on City services including

water, sewer, trash, police, fire, schools, noise, traffic, or air quality will be less than significant. The City currently has a RHNA housing allocation shortage of very low, low, and moderate income housing units. The development of 64 low and moderate income units will serve a great housing need in the community. This affordable income housing project will assist the City in meeting its housing needs as set forth in and required by the City's General Plan Housing Element. The need for additional, quality affordable housing is evidenced by the existence of waiting lists for entrance into the most recent Terracina Oaks and Magnolia Senior apartment complexes and other affordable housing complexes in the City.

CEQA

Projects characterized as in-fill development that meet the following conditions are categorically exempt from the requirements of CEQA: (1) are consistent with the applicable general plan land use designation, all applicable general plan policies, and applicable zoning designations and regulations, (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses, (3) the project site has no value as habitat for endangered, rare, or threatened species, (4) approval of the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (5) the site can be adequately served by all required utilities and public services. The proposed Walnut Grove apartment project conforms to each of these conditions and is, therefore, categorically exempt from the requirements of CEQA (California Code of Regulations, Title 14, Chapter 3, Section 15332).

RECOMMENDATION

The proposed project is consistent with the objectives of the City's general plan and complies with applicable zoning regulations and improvement standards adopted by the City. The project provides additional affordable housing for which there is a continuing need and demand for within the community. The design of the project, including the buildings, landscaping, and site amenities will improve the character and appearance of the neighborhood and the community. The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, and building materials establishes a clear design concept and is compatible with the character of single- and multi-family residential development on nearby properties. It is the recommendation of the Planning Director that the Planning Commission approve design review for construction of this 64-unit affordable housing project.

PROPOSED MOTION

I MOVE THAT THE PLANNING COMMISSION ADOPT RESOLUTION 2016-18 GRANTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A 64-UNIT MULTI-FAMILY RESIDENTIAL APARTMENT COMPLEX AT 1002 WALNUT AVENUE.

Attachments:

Aerial Site Photo

Design Review Drawings

Renderings

**CITY OF GREENFIELD PLANNING COMMISSION
RESOLUTION No. 2016-18**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
GREENFIELD GRANTING DESIGN REVIEW APPROVAL FOR THE
CONSTRUCTION OF THE WALNUT GROVE 64-UNIT MULTI-FAMILY
RESIDENTIAL APARTMENT COMPLEX AT 1002 WALNUT AVENUE**

WHEREAS, an application for design review approval for the construction of a 64-unit multi-family affordable housing complex on a 4.2 acre site at 1002 Walnut Avenue, APN: 109-171-004, has been submitted to the City of Greenfield; and

WHEREAS, Section 17.16.070 of the City of Greenfield zoning code requires design review for all multi-family residential development; and

WHEREAS, Section 17.10.040 of the City of Greenfield zoning code designates the Planning Commission as the approving authority for design review; and

WHEREAS, the Planning Commission shall approve, conditionally approve, or deny the proposed design review application in accordance with the requirements of Section 17.16.070 of the City of Greenfield zoning code; and

WHEREAS, the Planning Commission shall grant design review approval only after making certain designated findings as set forth in Section 17.16.070 of the City of Greenfield zoning code; and

WHEREAS, the application for design review was heard by the Planning Commission at a public meeting;

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Planning Commission of the City of Greenfield has considered all written and verbal evidence regarding this design review application at a public meeting and has made the following findings regarding the proposed development:

1. **FINDING:** That any two-story construction requires notification of property owners pursuant to section 17.14.040, "Public Notices," of this title
 - (a) Notice of the proposed development and the Planning Commission meeting where hearing was held on the design review application was properly given to all property owners of record, via U.S. Mail and publication in the local newspaper of general circulation, as required by sections 17.16.070 and 17.14.040 of the City of Greenfield zoning code.
2. **FINDING:** That the proposed development is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan provisions,

planned unit development provisions, applicable city design guidelines, and improvement standards adopted by the city.

- (a) The proposed site is designated by the general plan for multi-family uses and is in the Multiple Family Residential (R-M) zoning district. The proposed 64-unit multi-family apartment complex is an allowed use in these general plan and zoning code districts.
 - (b) The preliminary building and site plans indicate the new multi-family apartment complex conforms to applicable zoning regulations, including those relating to lot size and building coverage, building and site setbacks, building height, fences and walls, landscaping, resource efficiency, lighting, parking, and signage.
 - (c) The project is proposed to qualify for LEED Platinum certification and includes compliance with other exemplary energy efficiency standards and programs such as Department of Energy (DOE) Zero Energy Ready Home Program, Net Zero Energy, Off-Grid, Energy Star for Homes, WaterSense, and Indoor Air Quality Plus.
 - (d) The proposed project increases the number of affordable housing units available within the City and thereby promotes progress toward the City meeting its affordable housing goals as set forth in and required by the City's General Plan Housing Element.
3. FINDING: That the proposed architecture, site design, and landscape design are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and the community.
- (a) The architecture of the buildings is of Spanish influence and utilizes a light and neutral color palette which varies building to building. Materials include stucco facades, tile roofs, fabric awnings, wood timbered patio covers, and wrought iron fencing. Exterior elevations and detailing are appropriate for the proposed design theme.
 - (b) Approximately 45% of the total site area will be landscape and open space. Landscaping strips are provided around the perimeter of the property with a 30 foot landscape/bio-swale strip along the block wall adjacent to the Kraft Foods property. Significant landscaping and a variety of trees are proposed for that area to soften the visual impact of the surrounding uses and to provide additional buffering, screening, and sound attenuation. Landscaping between and around the residential units includes lawn areas, artificial turf, trees of a variety of types and sizes, shrubs, and other California native drought tolerant plantings.
 - (c) Landscape islands are not provided within the parking area but the overall landscape scheme, the provision of substantial covered parking, and the 30 foot landscape buffer between the adjoining Kraft Foods "industrial" facility and grain

storage towers is equally effective in achieving the intent of chapter 17.54, Landscaping, of the zoning code.

- (d) The site design is in conformity with the requirements of the zoning code and is an appropriate site layout for a 64-unit apartment complex.
 - (e) The development of a contemporary apartment complex at the proposed location will enhance the character of the neighborhood and community by developing a currently vacant and undeveloped parcel along the Walnut Avenue residential corridor.
4. FINDING: That the architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.
- (a) The architecture of the buildings is of Spanish influence and utilizes a light and neutral color palette which varies building to building. Materials include stucco facades, tile roofs, fabric awnings, wood timbered patio covers, and wrought iron fencing. Exterior elevations and detailing are appropriate for the proposed design theme.
 - (b) The architecture of the new apartment complex, its scale, relationship with the site and neighboring single- and multi-family residences, building materials, and colors establishes a clear design concept and is compatible with other single- and multi-family residences in the surrounding and nearby neighborhoods.
 - (c) Exterior lighting and signage will be appropriate for the type and scale of the proposed retail development.
5. FINDING: That the proposed project addresses vehicular, bicycle, and pedestrian transportation modes of circulation.
- (a) The number of on-site parking spaces is provided as required by the zoning code.
 - (b) The number of on-site bicycle parking racks significantly exceeds the requirements of the zoning code.
 - (c) Public sidewalks will be constructed along the Walnut Avenue and 10th Street frontages where there are no current sidewalks. The sidewalk along Walnut Avenue will connect to the existing sidewalks to the east and facilitate connection to the sidewalk along the residential development further to the west at 12th Street.
 - (d) There is a clear internal pedestrian walkway system that connects to the new public sidewalks along Walnut Avenue and 10th Street.

BE IT FURTHER RESOLVED that the Planning Commission hereby grants design review approval to construct the 64-unit Walnut Grove apartment complex at 1002 Walnut Avenue, APN: 109-171-004, as indicated on the project plans reviewed by the Planning Commission and subject to the following conditions:

1. The project shall be designed and constructed substantially as depicted on the plans submitted as part of this design review application. Minor modifications shall be reviewed and approved by the Planning Director. Major modifications shall require review and approval by the Planning Commission. The Planning Director shall make the determination whether a modification is minor or major.
2. The proposed landscape scheme is consistent with the intent of chapter 17.54, Landscaping, of the City of Greenfield Zoning Code to enhance the appearance of developments, reduce heat and glare, and provide a buffer between residential and nonresidential land uses. Parking lot landscape islands is not required.
3. Final landscape and irrigation plans shall be submitted as part of the plan check process for issuance of a building permit. The final landscape and irrigation plans shall conform to all water conservation regulations issued by the State Water Resources Control Board, including use of drought tolerant species and water efficient drip or micro-spray irrigation systems.
4. The inclusion of street trees in the public right-of-way along Walnut Avenue will require review and approval by Clark Colony Water Company. Replacement of the water line shall not be required.
5. The design and construction of the project shall comply with all applicable provisions of the City's Standard Conditions for Construction.

PASSED AND ADOPTED by the Planning Commission of the City of Greenfield, at a public meeting of the Planning Commission held on the 1st day of November, 2016, by the following vote:

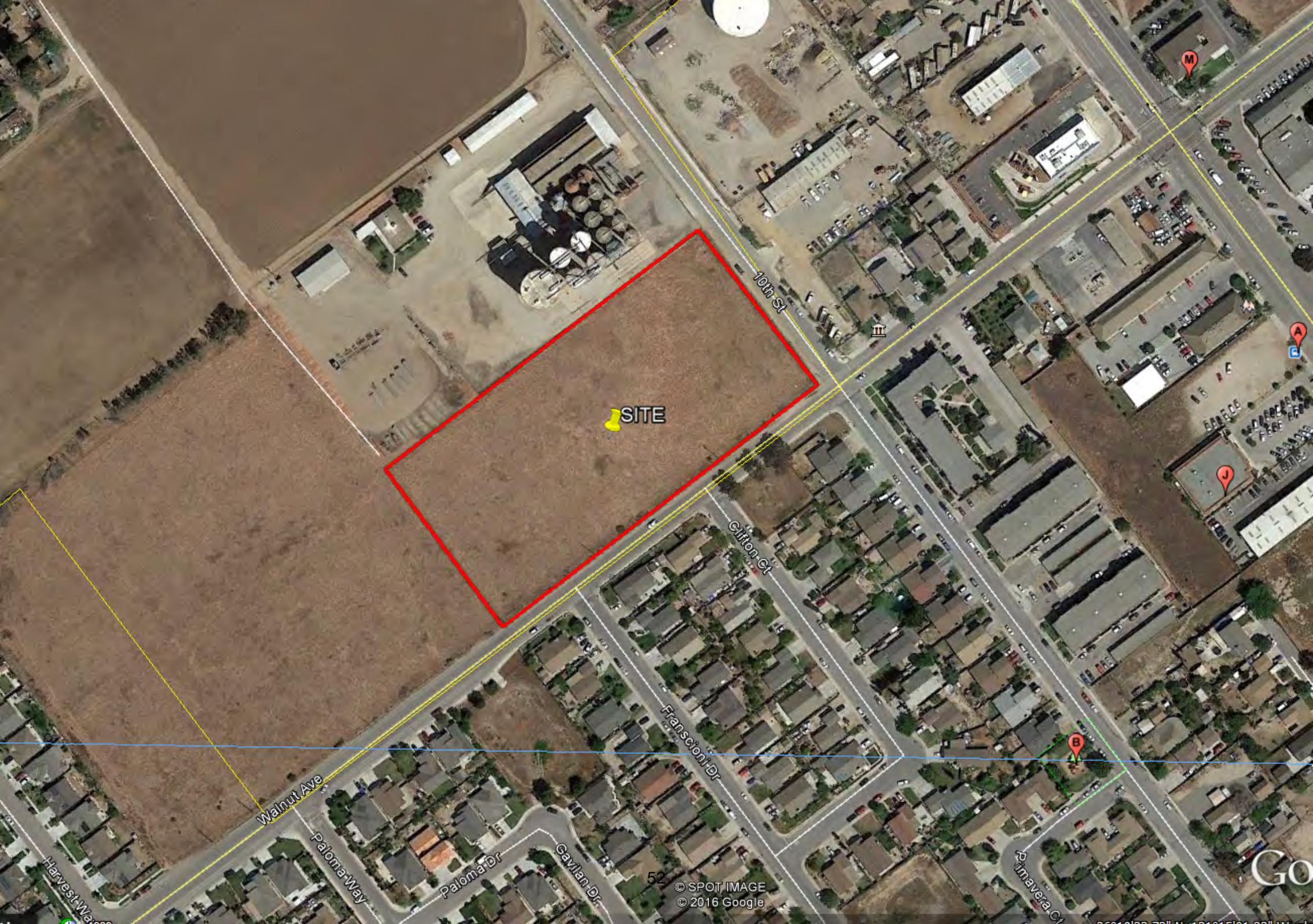
AYES, and all in favor, therefore, Commissioners:

NOES, Commissioners:

ABSENT, Commissioners:

Drew Tipton, Chairperson
Planning Commission

Desiree Gomez, Secretary
Planning Commission



SITE

10th St

Clifton Ct

Francioni Dr

Walnut Ave

Paloma Way

Paloma Dr

Gavilan Dr

Primavera Ct

© SPOT IMAGE
© 2016 Google

Go

SITE AREA: NET 182,634 SF / 4.2 ACRES

LOT COVERAGE:
 BUILDING = 37,547 SF (20%)
 WALKWAYS = 11,616 SF (6%)
 IMPERVIOUS COVERAGE = 99,833 SF (55%)
 LANDSCAPE = 82,801 SF (45%)

DENSITY: 15.2 UNITS / ACRE

UNITS:
 8 - 2 BR X 2 SPACE = 16 SPACES
 32 - 3 BR X 2 SPACES = 64 SPACES
 24 - 4 BR X 3 SPACES = 72 SPACES
 64 UNITS TOTAL = 152 SPACES

GUEST PARKING 1 SPACE / 4 UNITS = 16 SPACES
 TOTAL SPACES REQUIRED = 152 + 16 = 168 SPACES

86 COVERED / CARPORT
 82 UNCOVERED
 168 SPACES PROVIDED

64 BIKE SPACES PROVIDED

BUILDING 1

AREA: 10,407 SF

UNITS:
 2 BEDROOM = 0
 3 BEDROOM = 16
 4 BEDROOM = 0
 TOTAL = 16 UNITS

CLUBHOUSE = 1,500 SF

BUILDING 2

AREA: 9,552 SF

UNITS:
 2 BEDROOM = 0
 3 BEDROOM = 0
 4 BEDROOM = 8
 TOTAL = 8 UNITS

BUILDING 3

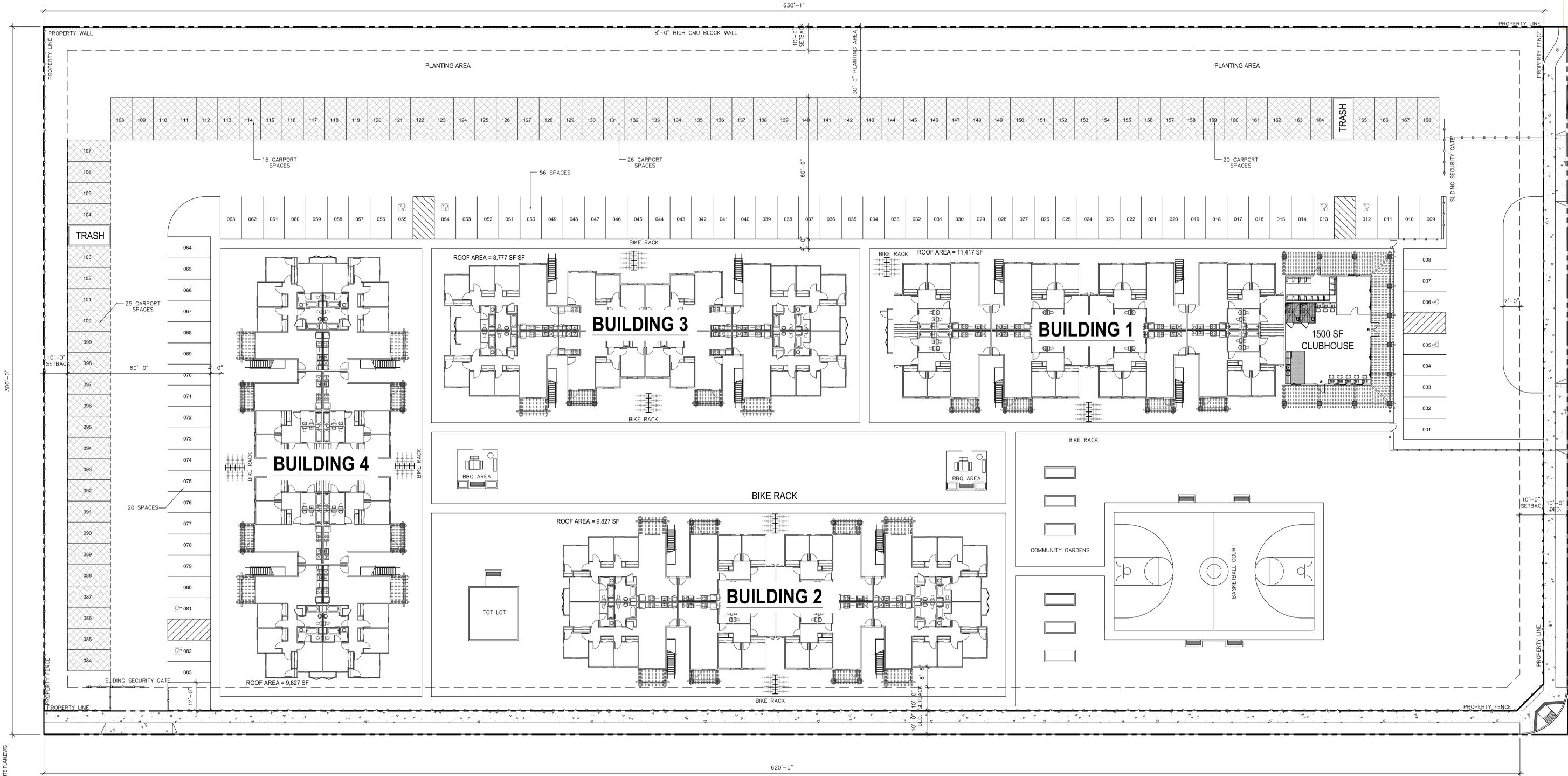
AREA: 8,327 SF

UNITS:
 2 BEDROOM = 8
 3 BEDROOM = 0
 4 BEDROOM = 8
 TOTAL = 16 UNITS

BUILDING 4

AREA: 9,552 SF

UNITS:
 2 BEDROOM = 0
 3 BEDROOM = 8
 4 BEDROOM = 8
 TOTAL = 16 UNITS



WALNUT AVE.



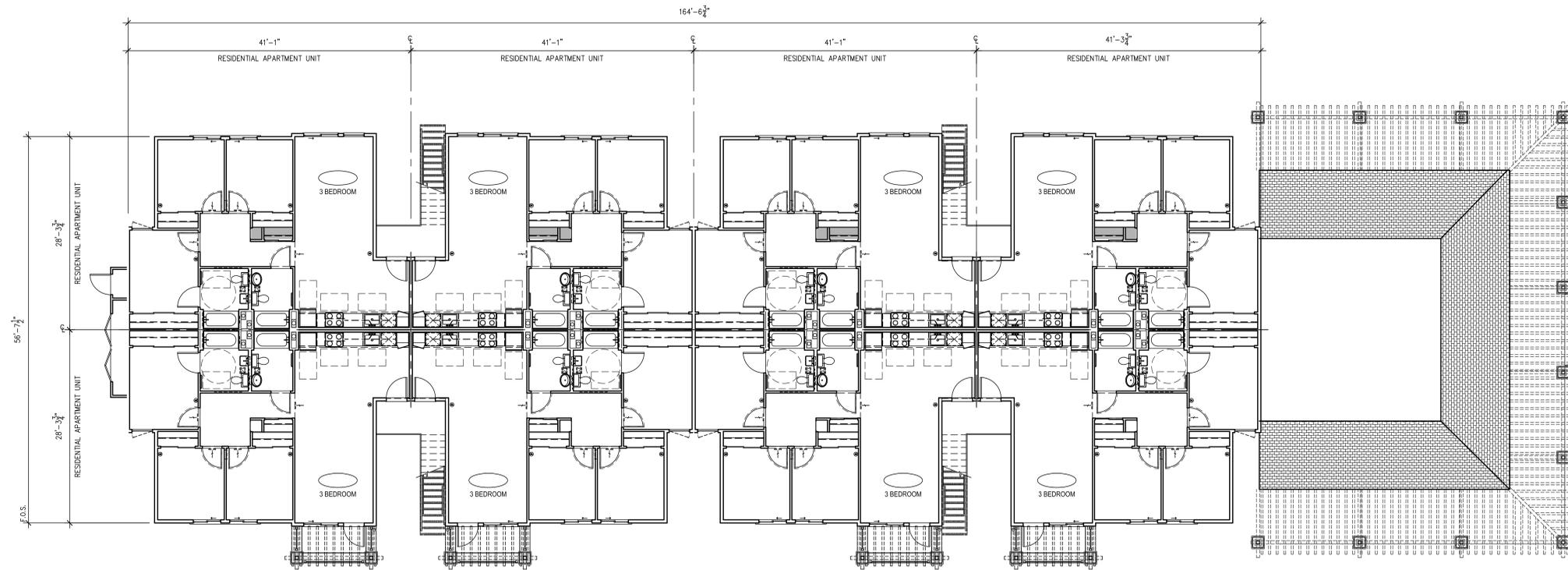
SITE PLAN
 SCALE: 1/16" = 1'-0"

1

The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (Y&M Architects), and no part thereof shall be copied, distributed, written or used in connection with any other project other than the specific project for which they have been prepared and developed, without the written consent of the Architect (Y&M Architects). Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have pre-emptive scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and the office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

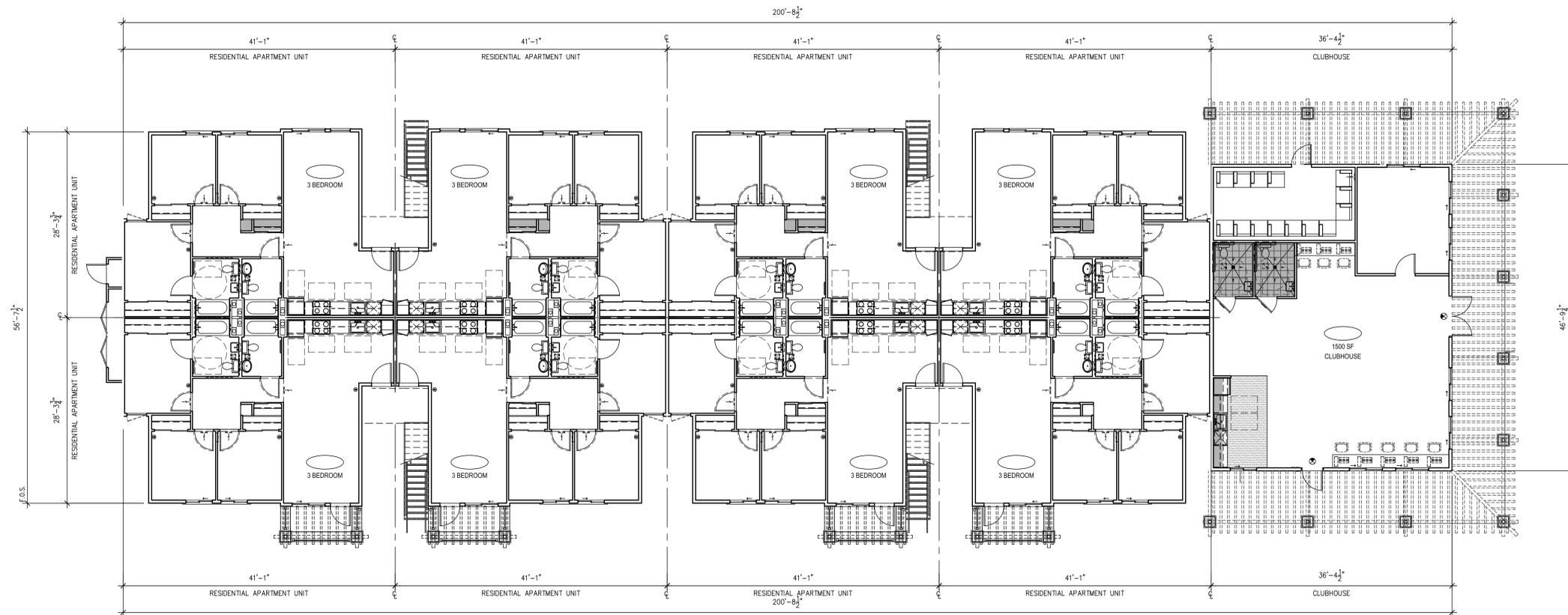
2016 ©

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**BUILDING NO. 1:
SECOND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

①



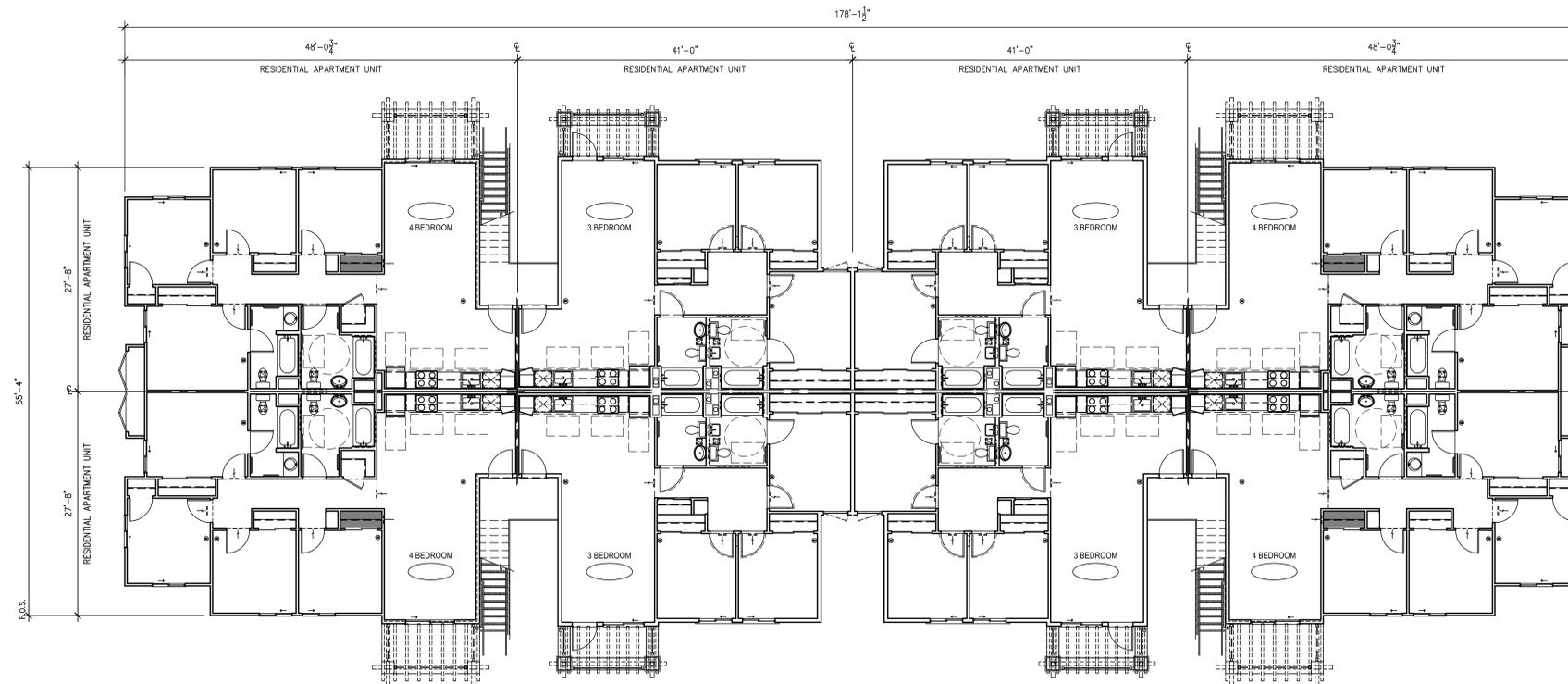
**BUILDING NO. 1:
GROUND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

①

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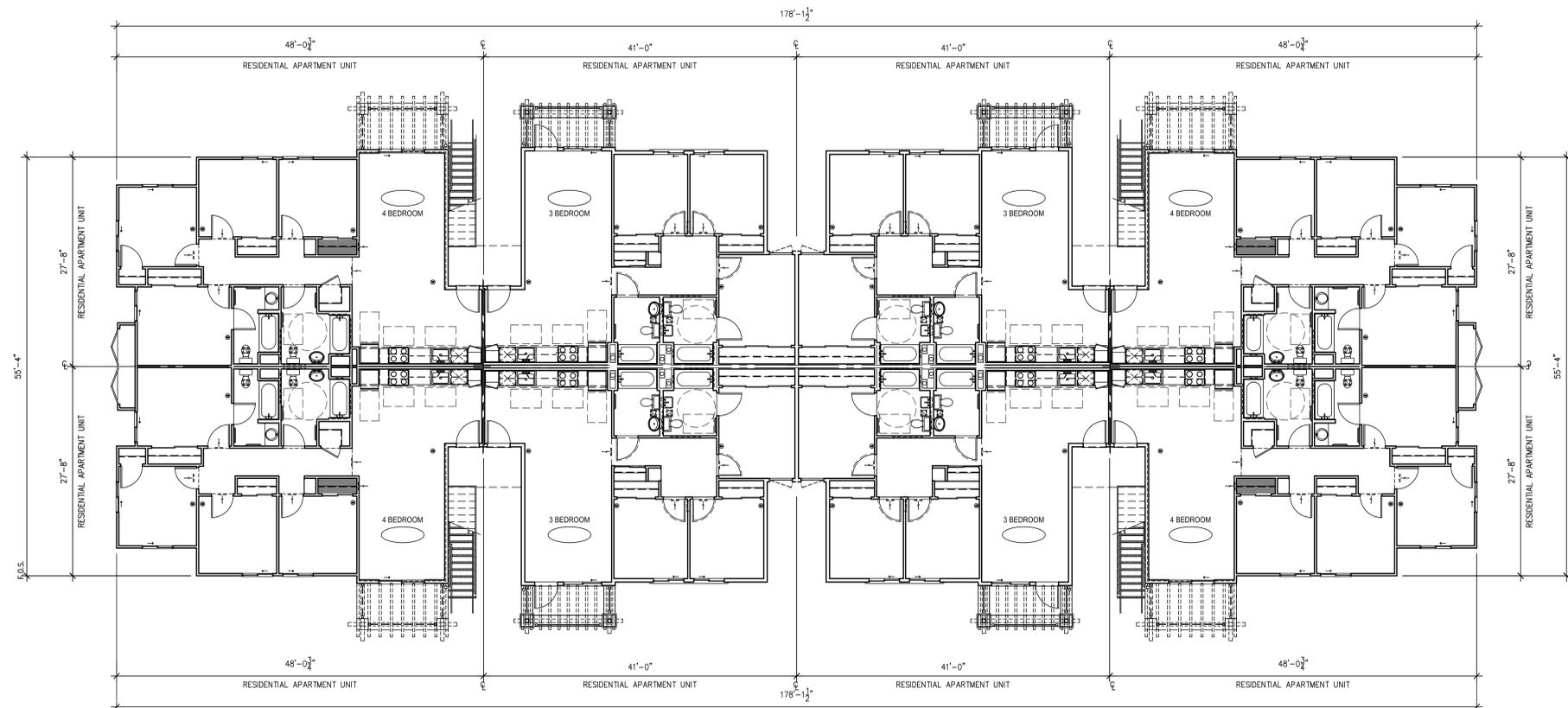
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**BUILDING NO. 2:
SECOND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

①

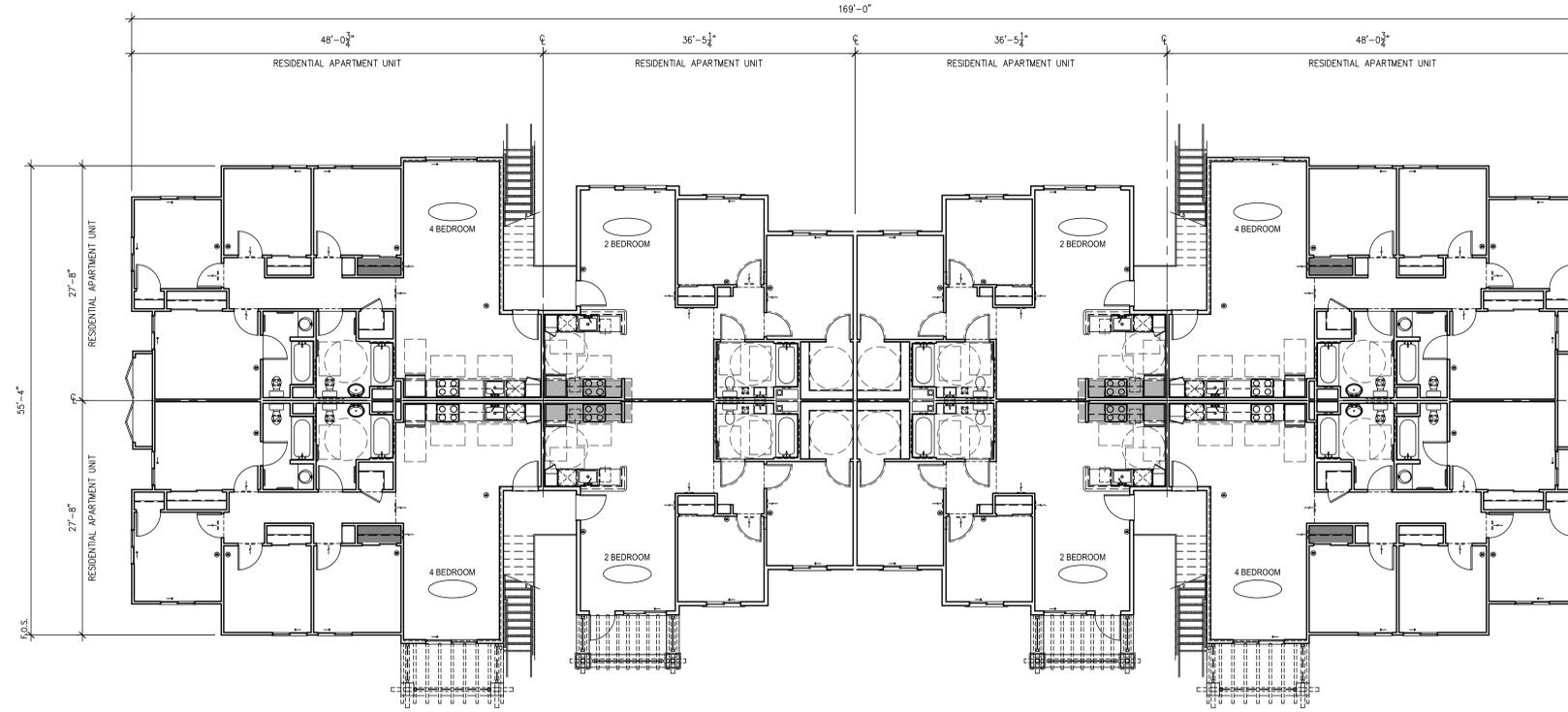


**BUILDING NO. 2:
GROUND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

①

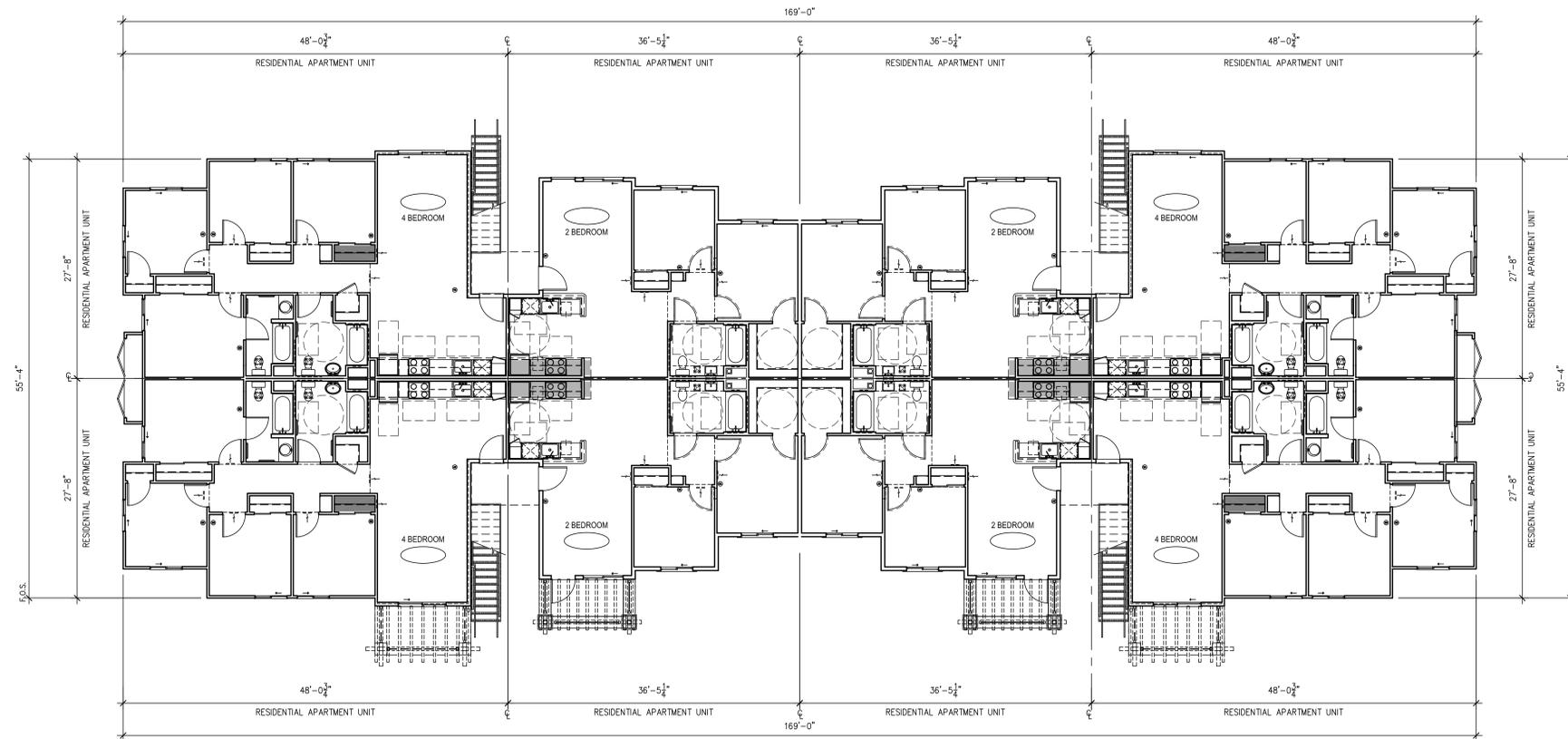
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**BUILDING NO. 3:
SECOND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

①

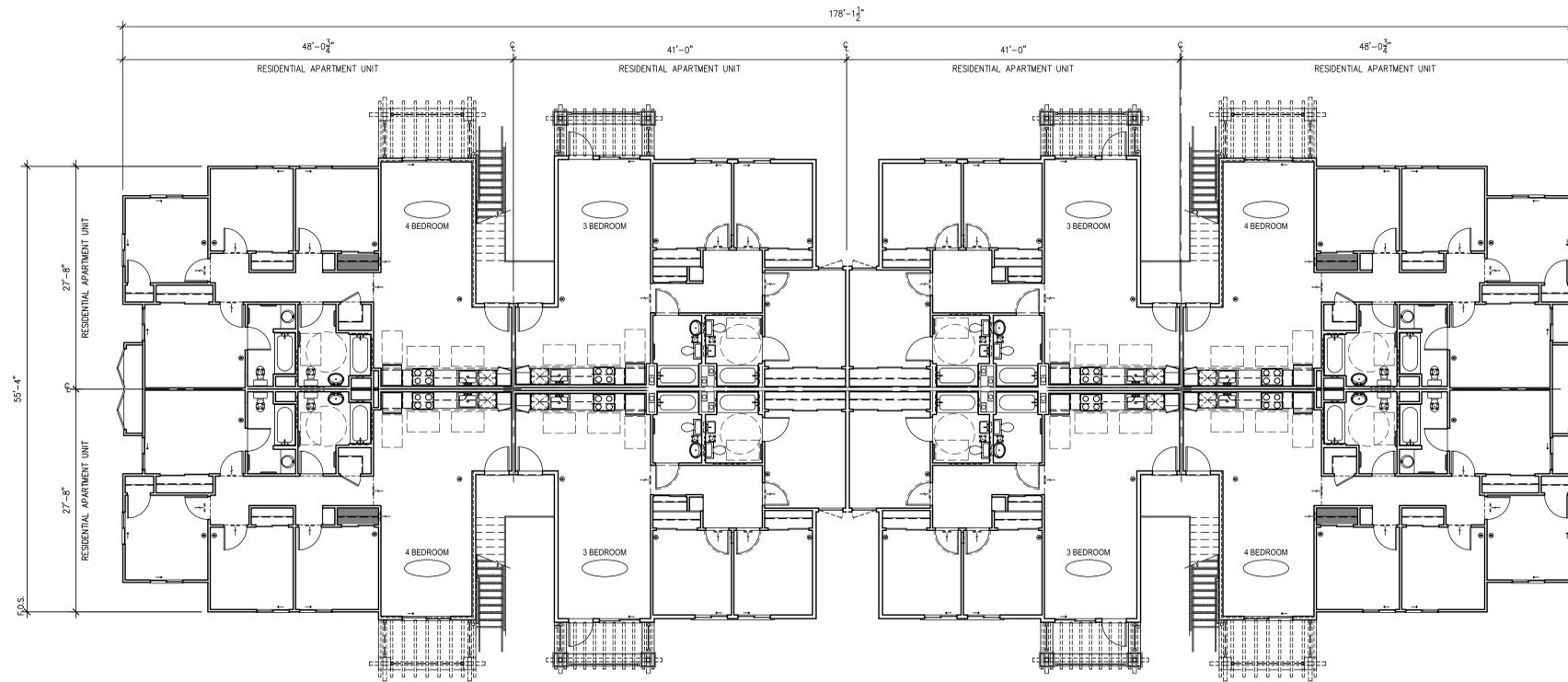


**BUILDING NO. 3:
GROUND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

①

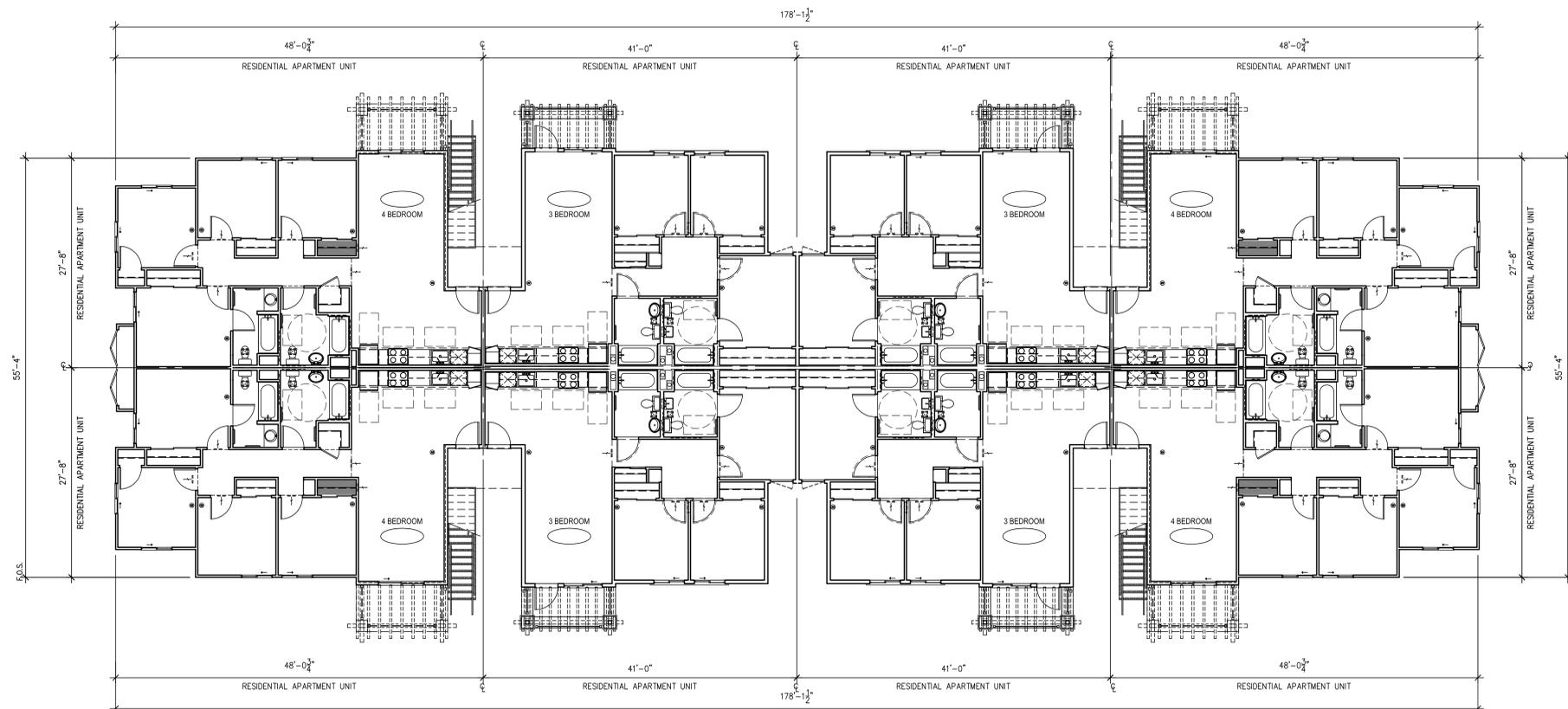
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**BUILDING NO. 4:
SECOND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

①



**BUILDING NO. 4:
GROUND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

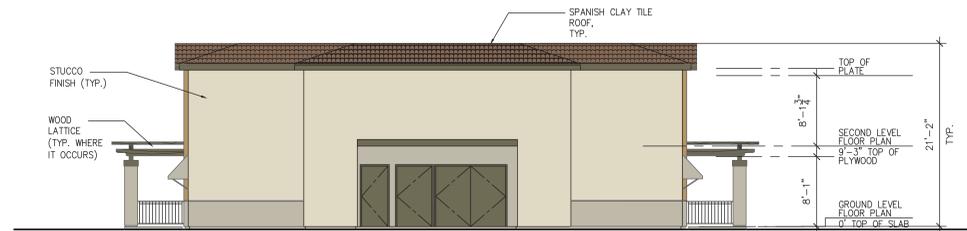
①

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BUILDING COLORS

| | | | |
|---|---|---|---|
| 1 |  | 2 |  |
| | JEWETT WHITE (VISTA PAINT) | | PHELPS PUTTY (VISTA PAINT) |
| 3 |  | 4 |  |
| | WARREN TAVERN (VISTA PAINT) | | DANISH PINE (VISTA PAINT) |



ELEVATION TYP. 3
SCALE: 1/8" = 1'-0"



ELEVATION TYP. 2
SCALE: 1/8" = 1'-0"



ELEVATION TYP. 1
SCALE: 1/8" = 1'-0"

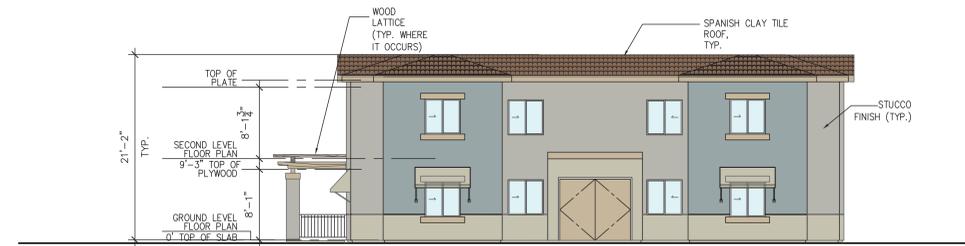
The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (YM Architects), and no part thereof shall be copied, disclosed, in whole or in part, or used in connection with any other project other than the specific project for which they have been prepared and developed, without the written consent of the Architect (YM Architects). Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have pre-emptive scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and the office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

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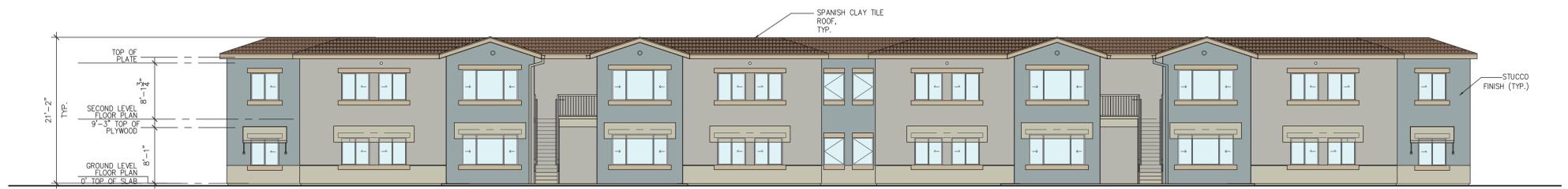
P:\2016\GREENFIELD\1_CADD\1_SHEETS\SCHEMATIC\006 BUILDING 1 EXTERIOR ELEVATIONS.DWG 4/15/2016 12:11 PM

BUILDING COLORS

| | | | |
|---|---|---|---|
| 1 |  | 2 |  |
| | GRAY HUSKIE (BENJAMIN MOORE) | | SPANISH OLIVE (BENJAMIN MOORE) |
| 3 |  | 4 |  |
| | BENNINGTON GREY (BENJAMIN MOORE) | | CITADEL BLUE (VISTA PAINT) |



ELEVATION TYP.
SCALE: 1/8" = 1'-0" ④



ELEVATION TYP.
SCALE: 1/8" = 1'-0" ③



ELEVATION TYP.
SCALE: 1/8" = 1'-0" ②



ELEVATION TYP.
SCALE: 1/8" = 1'-0" ①

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| | | | | |
|-----------------|---|-------------------------------|---|------------------------------------|
| BUILDING COLORS | 1 | | 2 | |
| | | WISH(BENJAMIN MOORE) | | MONTEREY WHITE(BENJAMIN MOORE) |
| | 3 | | 4 | |
| | | OYSTER SHELL (BENJAMIN MOORE) | | HISTORIC MORNING DEW (VISTA PAINT) |



ELEVATION TYP. ②
SCALE: 1/8" = 1'-0"



ELEVATION TYP. ①
SCALE: 1/8" = 1'-0"

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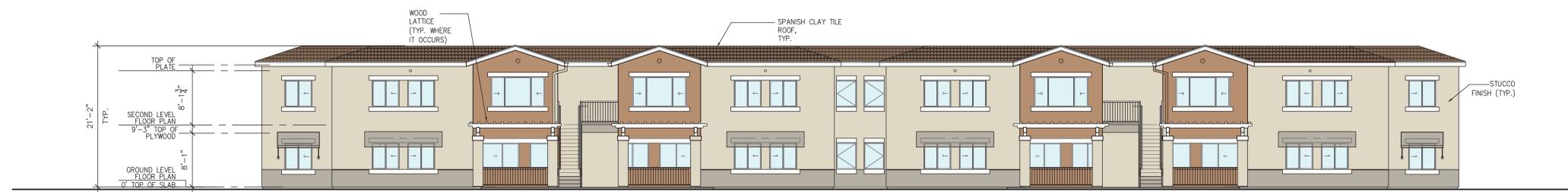
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BUILDING COLORS



ELEVATION TYP. COLOR SCHEME #1 ②
 SCALE: 1/8" = 1'-0"

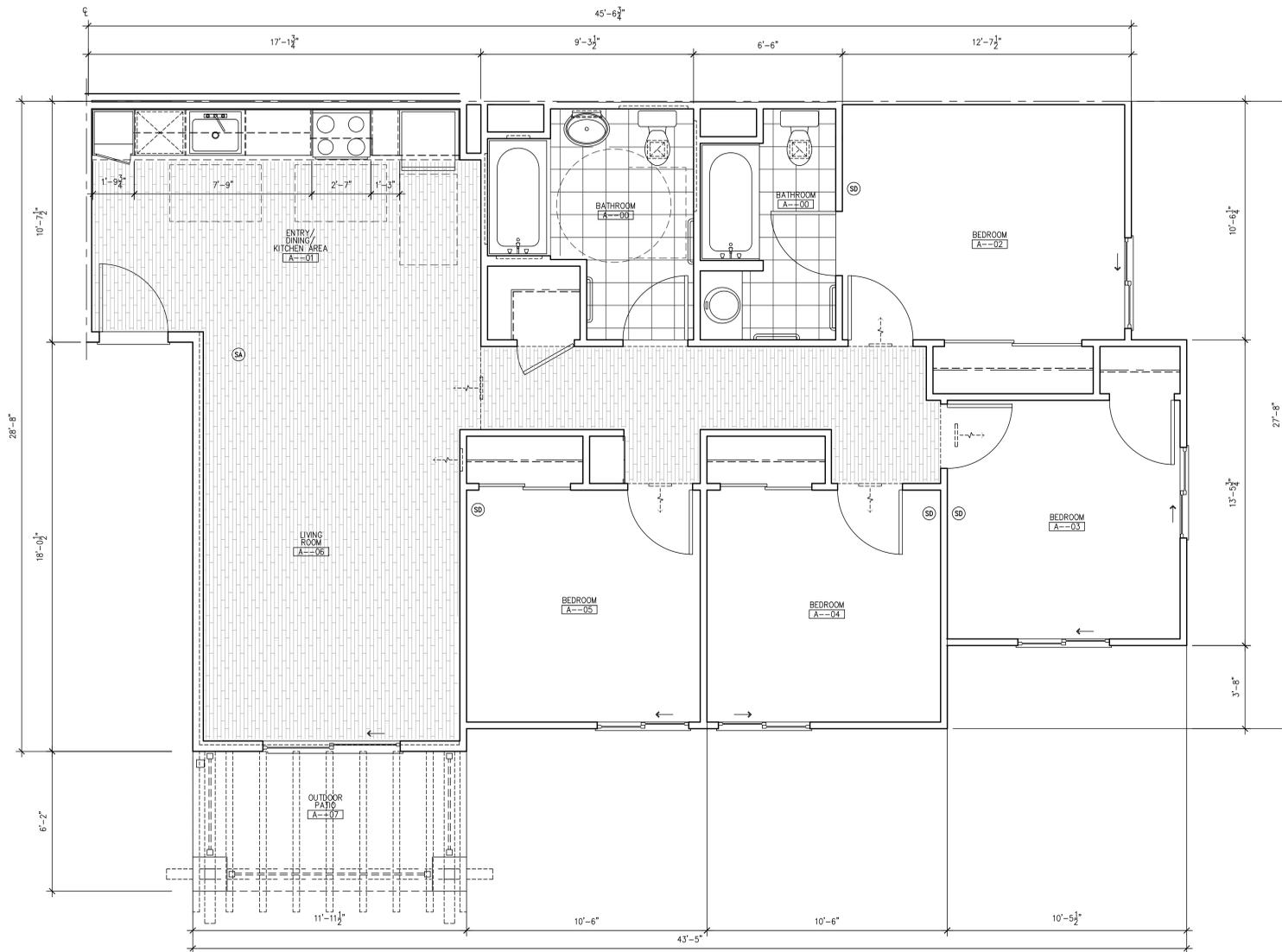


ELEVATION TYP. COLOR SCHEME #1 ①
 SCALE: 1/8" = 1'-0"

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**4 BEDROOM
RESIDENTIAL UNIT PLAN
1206 SQ. FT.**

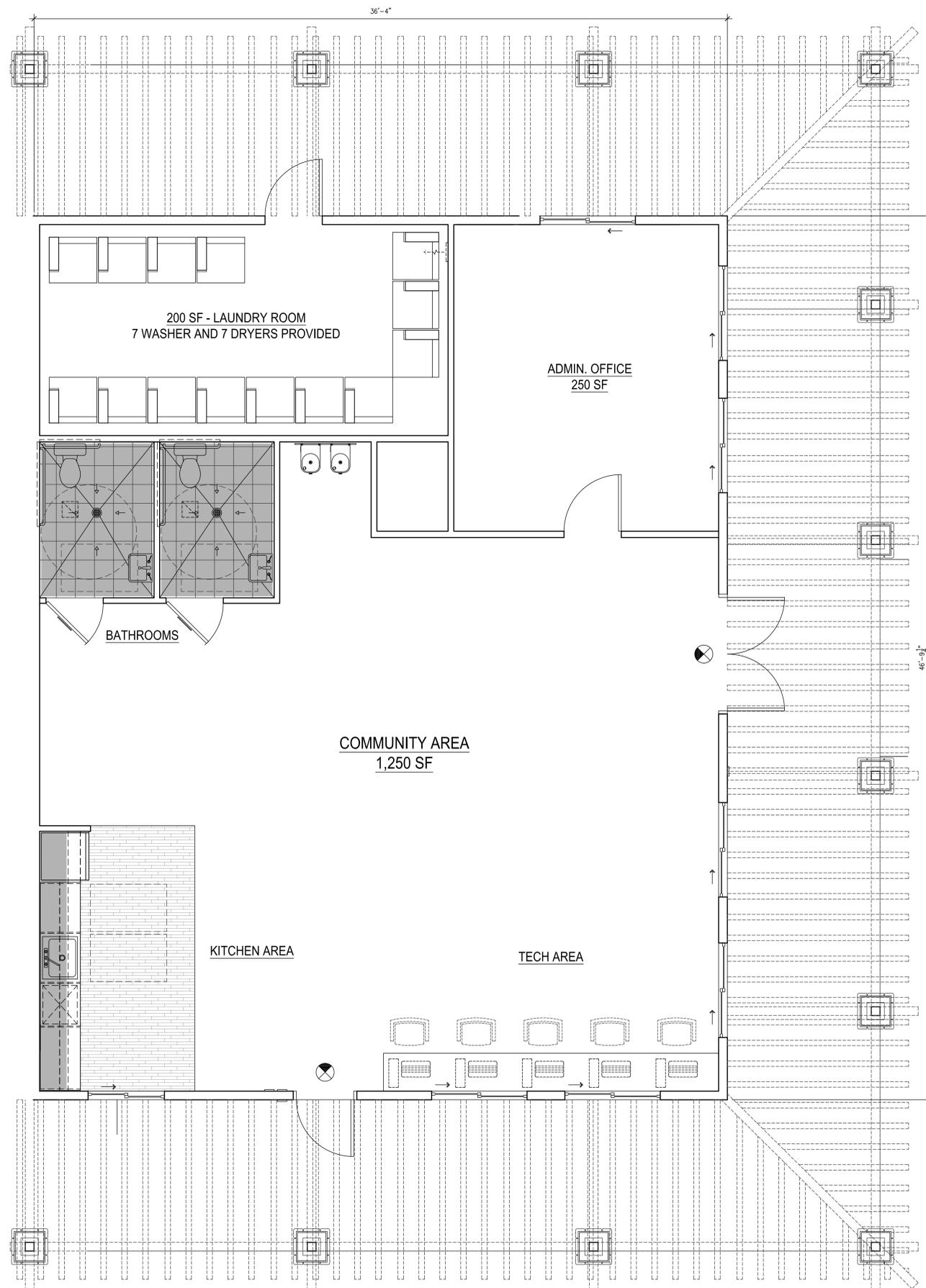
SCALE: 3/8" = 1'-0"

1

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**BUILDING NO. 1
RESIDENTIAL COMMUNITY CENTER:
ENLARGED FLOOR PLAN** ①
SCALE: 1/4" = 1'-0"

The above drawings, specifications, ideas, designs and arrangements represented therein are and shall remain property of the Architect (YM Architects), and no part thereof shall be copied, distributed, or used in connection with any other project other than the specific project for which they have been prepared and developed, without the written consent of the Architect (YM Architects). Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these drawings. Written dimensions on these drawings shall have pre-over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and the office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

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BIO SWALE LEGEND

| SYMBOL | BOTANICAL / COMMON NAME SIZE |
|--------|--|
| | AGROSTIS PALLENS / BENT GRASS SEED |
| | ALLIUM CRISpum / WILD ONION |
| | CAREX PRAEGRACILIS / CLUSTERED FIELD SEDGE |
| | ECHYMUS CONDENSATUS / GIANT WILD RYE |
| | MELICA CALIFORNICA / CALIFORNIA MELICA |
| | MUHLENBERGIA RIGENS / DEER GRASS |

BIO-SWALE NOTES

1. ALL GRASSES AND PLANTS ARE CALIFORNIA NATIVES AND WILL TAKE SEASONAL FLOODING

TREE LEGEND - SCREENING

| SYMBOL | COMMON NAME BOTANICAL NAME / NUCOLS SIZE / QUANTITY / SIZE AT MATURITY |
|--------|--|
| | CUPRESSUS FORBESII TECATE CYPRESS / LOW 24 INCH BOX / 26 / SIZE MATURITY 25' TALL X 15' WIDE |
| | ACER N. C. 'BERT'S TOY BOX' N.C.N. / LOW 24 INCH BOX / 12 / SIZE AT MATURITY 21' TALL X 21' WIDE |

TREE NOTES

1. CUPRESSUS FORBESII - IN TEN YEARS UP TO 20' TALL WITH WATER TO ESTABLISH ONLY - NO WATER AFTER ESTABLISHMENT.
2. ACER - FAST GROWING RELATIVELY SMALL ON COMPARISON TO MOST TREES. THE LEGEND STATES THE LARGEST IT WILL GET IT CAN BE AS SMALL AS 15' TALL X 12' WIDE.

TREE LEGEND

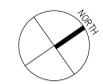
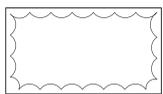
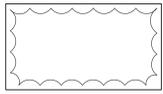
| SYMBOL | COMMON NAME BOTANICAL NAME / NUCOLS SIZE / QUANTITY / SIZE AT MATURITY |
|--------|---|
| | CERCIS OCCIDENTALIS WESTERN REDBUD / MOD 15 GAL / 43 / SIZE MATURITY 15' TALL X 15' WIDE |
| | PINUS MURICATA BISHOP PINE / LOW 15 GAL / 18 / SIZE MATURITY 30' TALL X 18' WIDE |
| | PLATANUS RACEMOSA CALIFORNIA SYCAMORE / MOD 15 GAL / 38 / SIZE MATURITY 50' TALL X 30' WIDE |
| | QUERCUS AGRICOLIA COAST LIVE OAK / LOW 24 INCH BOX / 18 / SIZE MATURITY 50' TALL X 50' WIDE |

SHRUB LEGEND

| SYMBOL | COMMON NAME BOTANICAL NAME / NUCOLS SIZE / QUANTITY / SIZE AT MATURITY |
|--------|---|
| | ARCTOSTAPHYLOS 'BABY BEAR' BABY BEAR MANZANITA / LOW 5 GAL / 200 / SIZE MATURITY 6' TALL X 8' WIDE |
| | ARCTOSTAPHYLOS CRUZENSIS ARROYO DE LA CRUZ MANZANITA / LOW 5 GAL / 200 / SIZE MATURITY 3' TALL X 5' WIDE |
| | ARCTOSTAPHYLOS D. 'HARMONY' MANZANITA / LOW 5 GAL / 200 / SIZE MATURITY 2-3' TALL X 6' WIDE |
| | ARCTOSTAPHYLOS E. 'CARMEL SUR' CARMEL SUR MANZANITA / LOW 5 GAL / 200 / SIZE MATURITY 6' TALL X 5-8' WIDE |
| | ARTEMISIA C. X MONTARA MONTARA MONTARA / LOW 5 GAL / 200 / SIZE MATURITY 12" TALL X 3' WIDE |
| | BACCHARIS P. C. 'POZO SURF' LOVELY COYOTE BUSH / LOW 5 GAL / 200 / SIZE MATURITY 12" TALL X 3' WIDE |
| | DIPLOCLADUS RUTILUS SANTA SUSANA MONKEY FLOWER / LOW 5 GAL / 200 / SIZE MATURITY 18" TALL X 3' WIDE |
| | ELYMUS CONDENSATUS GIANT WILD RYE / LOW 1 GAL / 200 / SIZE MATURITY 5' TALL X 5' WIDE |
| | ELYMUS CONDENSATUS 'CANYON PRINCE' CANYON PRINCE RYE / LOW 1 GAL / 200 / SIZE MATURITY 3' TALL X 3' WIDE |
| | ENGELIA CALIFORNICA COAST SUNFLOWER / LOW 1 GAL / 200 / SIZE MATURITY 2' TALL X 4' WIDE |
| | GONOTHERA CALIFORNICA CALIFORNIA EVENING PRIMROSE / LOW 1 GAL / 200 / SIZE MATURITY 18" TALL X 6' WIDE |
| | PENSTEMON BRINNELLI SCROPHULARIODES BRINNELL'S NORTHERN PENSTEMON / LOW 1 GAL / 200 / SIZE MATURITY 3' TALL X 3' WIDE |
| | PENSTEMON SPECTABILIS SHORT PENSTEMON / LOW 1 GAL / 200 / SIZE MATURITY 3' TALL X 3' WIDE |
| | PENSTEMON SPECTABILIS SHORT PENSTEMON / LOW 1 GAL / 200 / SIZE MATURITY 3' TALL X 3' WIDE |
| | RHAMNUS C. 'EVE CASE' EVE CASE / LOW 5 GAL / 200 / SIZE MATURITY 3' TALL X 6' WIDE |
| | RIBES INDECORUM WHITE FLOWERING CURRANT / LOW 5 GAL / 200 / SIZE MATURITY 3' TALL X 3' WIDE |
| | SALVIA LEUCOPHYLLA PURPLE SAGE / LOW 1 GAL / 200 / SIZE MATURITY 3' TALL X 3' WIDE |
| | STIPA CERNUA NODDING NEEDLEGRASS / LOW 1 GAL / 200 / SIZE MATURITY 2' TALL X 2' WIDE |
| | TYGGA FILAMENTOSA ADAMS NEEDLE / LOW 1 GAL / 200 / SIZE MATURITY 4' TALL X 4' WIDE |
| | ZAUSCHNERIA C. 'BERT'S BUFF' BERT'S CALIFORNIA FUCHIA / LOW 1 GAL / 200 / SIZE MATURITY 2' TALL X 3' WIDE |

GROUND COVER LEGEND

| SYMBOL | COMMON NAME BOTANICAL NAME / NUCOLS SIZE / QUANTITY / SIZE AT MATURITY |
|--------|--|
| | 3" MULCH |



PLANT LEGENDS
SCALE: 1/16" = 1'-0"

1

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D:\WORK FILES\2016\07\06\POSSIBLE PROJECTS\GREENFIELD\07\06\NEW SITE PLAN\A01 SITE PLAN - STANDARD\0716-026-GREENFIELD PRELIMINARY LANDSCAPE.DWG 10/26/2016 4:04 PM

THE OFFICE OF
SUSAN E. McEOWEN
LANDSCAPE ARCHITECT 2180
A CALIFORNIA CORPORATION
19197 Golden Valley Rd. #924
Santa Clarita, CA 91387
Office Telephone: (661) 294 3753
Email Address: susan@landarch.us

YM Architects
3816 Main Street, Culver City, CA
90232
Tel. 310 558 8616 Fax. 310 558
8676
www.ymarch.com

Greenfield Apartments

Project

INTEGRATED COMMUNITY DEVELOPMENT

Developer

09.13.16 LP-2

Date

Page



Know what's below. Call 811 before you dig.

- GENERAL LEGEND:**
- EXISTING PROPERTY LINE
 - - - PROPOSED PROPERTY LINE
 - ▬▬▬ PROPOSED ASPHALT CONCRETE PAVEMENT
 - ▬▬▬ PROPOSED CONCRETE PAVEMENT/HARDSCAPE
- GRADING LEGEND:**
- GRADE BREAK
 - || DAYLIGHT OF GRADING LIMITS
- STORM DRAIN LEGEND:**
- 10.0L12"SD01.0X STORM DRAIN PIPE LENGTH, SIZE AND SLOPE (SD)
 - LIMIT OF TRIBUTARY AREA FOR STORMWATER BMP'S
 - PROPOSED BIO RETENTION BASIN
 - ENERGY DISSIPATOR
 - HEADWALL/ENDWALL
 - DROP INLET

SITE SUMMARY:

LOT SIZE:
GROSS = 4.41 ACRES
DEDICATIONS = 0.21 ACRES
NET = 4.20 ACRES

LOT COVERAGE:
IMPERVIOUS COVERAGE = 97,168 SQFT.
IMPERVIOUS AREA TO BIO RETENTION BASIN 1 = 64,132 SQFT.
IMPERVIOUS AREA TO BIO RETENTION BASIN 2 = 33,034 SQFT.

EARTHWORKS:
CUT/FILL = 2,675 CY. (BALANCED)

- GRADING KEY NOTES:**
- 6" VERTICAL CURB PER CITY STD. 242 R-112-01.
 - 6" VERTICAL CURB AND GUTTER PER CITY STD. R-113-01.
 - SLOTTED CURB.
 - SIDEWALK PER CITY STD. R-111-01 (WIDTH PER PLAN).
 - CURB THROUGH DRAIN.
 - 3' WIDE STANDARD VALLEY GUTTER.
 - 6" WIDE ADA ACCESSIBLE VALLEY GUTTER.
 - 28" WIDE DRIVEWAY APPROACH PER CITY STD. R-104-01.
 - CURB RAMP PER CITY STD. R-110-01 AND CALTRANS STD. AB8A
 - MATCH EXISTING, SAWCUT & CONFORM TO MATCH EXISTING IMPROVEMENTS.
 - TRASH ENCLOSURE PER ARCHITECTURAL PLAN SHEET.
 - DRAINAGE OVERFLOW STRUCTURE.
 - 8" TALL CMU BLOCK WALL.

- GENERAL NOTES:**
- SEE STORM DRAIN UTILITY INFORMATION AND INVERTS ON UTILITY PLAN.
 - ALL CLEARING, GRUBBING, SITE PREPARATION, OVER-EXCAVATION, EARTHWORK, ENGINEERED FILL, AND MATERIAL TESTING SHALL BE IN COMPLIANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
 - TYPE II CEMENT WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI SHALL BE USED TO COMPENSATE FOR POTENTIAL SULFATE REACTIVITY.
 - AREA DRAINS ADJACENT TO BUILDINGS SHALL BE 10" BELOW FINISH FLOOR OR LOWER TO ACCOMMODATE 5% SLOPE AWAY FROM BUILDING FOUNDATIONS.
 - STREET TREES TO MATCH HARVEST WAY IN LIKE KIND. SEE LANDSCAPE PLANS BY OTHERS.

SURVEY INFORMATION:

THE TOPOGRAPHIC SURVEY AND MAPPING INFORMATION, INCLUDING BUT NOT LIMITED TO EXISTING SURFACE FEATURES, PROPERTY LINES, RIGHT-OF-WAY, CENTERLINE, EASEMENTS, AND RECORD INFORMATION, SHOWN ON THESE IMPROVEMENT PLANS WERE PROVIDED BY THE SURVEY BELOW, A COPY, SIGNED AND SEALED BY THE PROFESSIONAL LAND SURVEYOR IS ON FILE WITH THE DESIGN ENGINEER.

TITLE: "FIELD SURVEY"
DATED: 08/10/2016

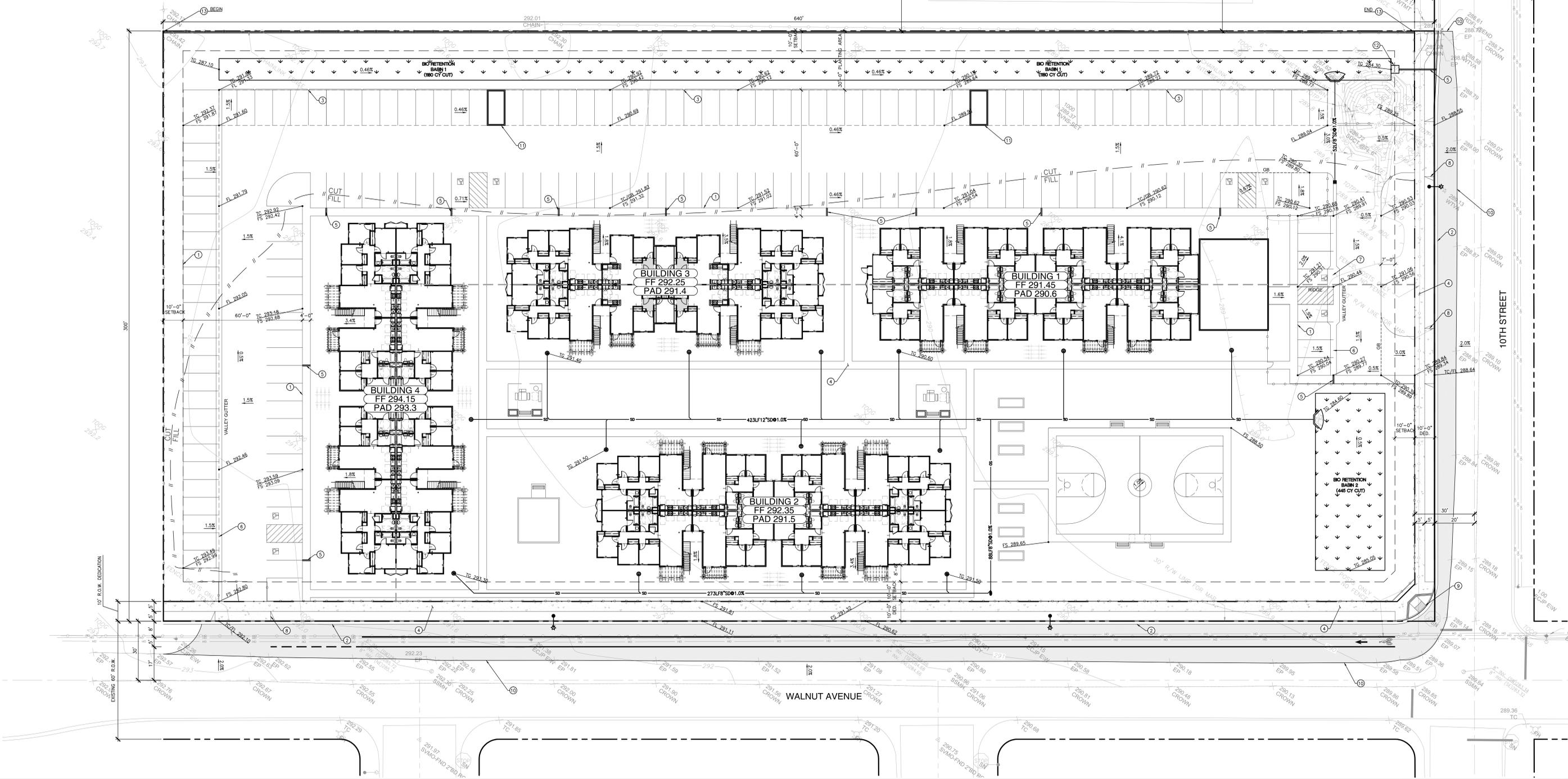
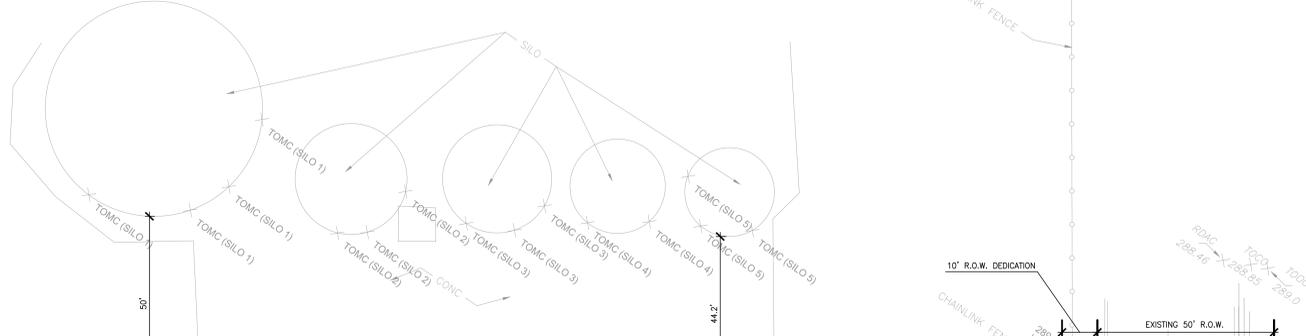
JD SURVEY
PO BOX 1203, ORANGEVALE, CA 95662
(951) 627-5911

BENCHMARK:

SET POINT #1000, ELEVATION=289.37 FEET, BASED ON AN OPUS SOLUTION WITH 9 PUBLISHED NGS BASE STATIONS WITH THE NEAREST NGS PUBLISHED CONTROL POINT "633643".

BASIS OF BEARINGS:

WALNUT AVENUE WITH A BEARING N54°36'E AS PER RECORDED MAPS.



saved: 8/20/2016, 10:16:00 AM, path: s:\projects\eng\201601010_greentield_apartments\view\wp\grading.dwg

| NO. | DATE | REVISIONS |
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CORPORATION FOR BETTER HOUSING
GREENFIELD APARTMENTS
GREENFIELD, CALIFORNIA

DESIGNED BY: KDC
DRAFTED BY: KDC
CHECKED BY: MRW
DATE: 03/10/2016

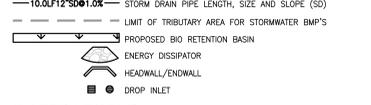
PRELIMINARY GRADING & DRAINAGE PLAN

SHEET
C1.0

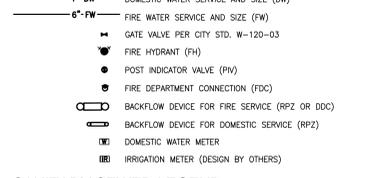


Know what's below. Call 811 before you dig.

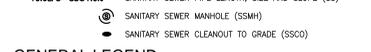
STORM DRAIN LEGEND:



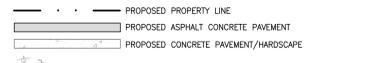
WATER LEGEND:



SANITARY SEWER LEGEND:



GENERAL LEGEND:



STORM DRAIN KEY NOTES:

- 1 DISCONNECTED ROOF DOWNSPOUTS SHALL DISCHARGE TO A SPLASH BLOCK FOR CONVEYANCE IN VEGETATED SWALES TO THE NEAREST AREA DRAIN OR CURB THROUGH DRAIN. SWALES FOR SAID CONVEYANCE SHALL BE MIN. 2' LONGITUDINAL SLOPE.
- 2 DRAINAGE OVERFLOW STRUCTURE.
- 3 18" DROP INLET WITH H20 TRAFFIC RATED GRATE (NYOPLAST OR EQUIVALENT).
- 4 8" DROP INLET WITH PEDESTRIAN/YARD RATED GRATE (NYOPLAST OR EQUIVALENT).
- 5 STORM DRAIN CLEANOUT (NYOPLAST CLEANOUT END CAP OR EQUIVALENT).
- 6 CURB THROUGH DRAIN.

WATER KEY NOTES:

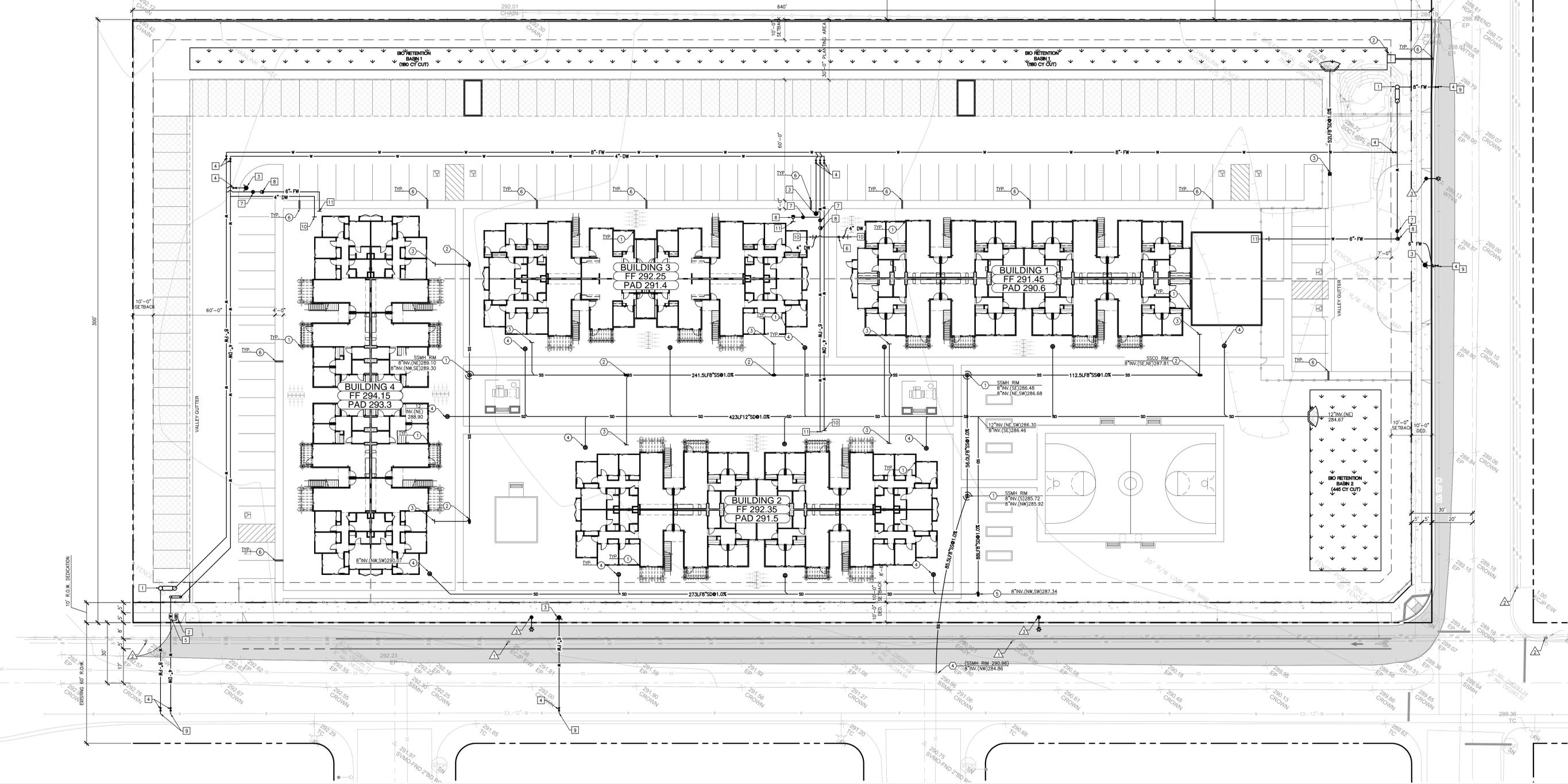
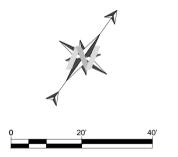
- 1 8" REDUCED PRESSURE ZONE ASSEMBLY BACKFLOW DEVICE.
- 2 STUB FOR IRRIGATION. SEE LANDSCAPE PLANS FOR CONTINUATION. DESIGN BY OTHERS.
- 3 FIRE HYDRANT PER CITY STD. W-121-05.
- 4 GATE VALVE PER CITY STD. W-120-03.
- 5 4" DOMESTIC WATER METER.
- 6 WATER BLOW-OFF ASSEMBLY.
- 7 POST INDICATOR VALVE (PIV).
- 8 FIRE DEPARTMENT CONNECTION (FDC).
- 9 TIE INTO EXISTING WATER MAIN PER CITY STD. W-125-03. MAINTAIN 2' MIN. SEPARATION BETWEEN CONNECTIONS.
- 10 DOMESTIC WATER SERVICE. SEE M.E.P. PLANS FOR CONTINUATION WITHIN 5' OF BUILDING.
- 11 FIRE WATER SERVICE. SEE M.E.P. PLANS FOR CONTINUATION WITHIN 5' OF BUILDING TO FIRE RISER ROOM.

SANITARY SEWER KEY NOTES:

- 1 48" SANITARY SEWER MANHOLE PER CITY STD. SN-115-02.
 - 2 SANITARY SEWER CLEANOUT PER CITY STD. SN-136 (MATERIAL AND SIZE TO MATCH LATERAL).
 - 3 SEWER LATERAL FOR BUILDING CONNECTION. SEE M.E.P. PLANS FOR CONTINUATION WITHIN 5' OF BUILDING INCLUDING CLEANOUT AT FACE OF BUILDING.
 - 4 TIE-INTO EXISTING SANITARY SEWER MANHOLE. RECONTOUR CHANNEL FOR NEW LATERAL. NON-SHRINK GROUT TO SEAL.
- DRY UTILITY KEY NOTES:**
- 1 EXISTING OVERHEAD UTILITIES SHALL BE UNDERGROUNDED, REMOVE POLE AND ARMS IN THEIR ENTIRETY. CONSTRUCT JOINT TRENCH IN COMPLIANCE WITH UTILITY COMPANY REQUIREMENTS (DESIGN BY OTHERS).
 - 2 PROTECT EXISTING OVERHEAD UTILITY POLE TO REMAIN.
 - 3 NEW STREET LIGHT PER PG&E STD. 015136 WITH FOUNDATION MOUNTED STEEL POLE, SINGLE ARM AND COBRA HEAD LAMP. INSTALL PER MANUFACTURER'S RECOMMENDATION.

GENERAL NOTES:

- A. FOR PIPE MATERIALS AND ADDITIONAL NOTES, SEE SHEET CITY STANDARDS.
- B. FOR TRENCH SECTION, BACKFILL AND SURFACE REPLACEMENT, SEE CITY STD. SN-137.
- C. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL INVERTS OF EXISTING UTILITIES AT POINTS OF CONNECTION AND PROPOSED UTILITY CROSSINGS BY OBSERVATION OR POT-HOLING METHODS. NOTIFY THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES IN THESE PLANS AND ACTUAL FIELD INFORMATION.
- D. WATER LINES 6" AND LARGER SHALL INCLUDE THRUST BLOCKS AT ALL BENDS PER CITY STD. W-122-01.



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CORPORATION FOR BETTER HOUSING
GREENFIELD APARTMENTS
GREENFIELD, CALIFORNIA

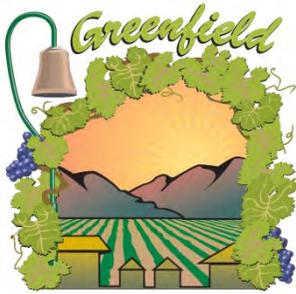
DESIGNED BY: KDG
DRAFTED BY: KDG
CHECKED BY: MRW
DATE: 8/31/2016

PRELIMINARY UTILITY PLAN

SHEET
C2.0







Planning Commission Report

599 El Camino Real Greenfield CA 93937 831-674-5591
www.ci.greenfield.ca.us

DATE: October 24, 2016

AGENDA DATE: November 1, 2016

TO: Planning Commissioners

FROM: Mic Steinmann, Community Services Director

TITLE: **DESIGN REVIEW FOR CARL'S JR. RESTAURANT ON WALNUT AVENUE BETWEEN 3RD STREET AND 4TH STREET AS PART OF WALNUT AVENUE SPECIFIC PLAN AREA**

AUTHORITY AND PROCEDURES

The Walnut Avenue Specific Plan and Environmental Impact Report (EIR) were adopted by the City Council on August 12, 2014. The stated purpose of the specific plan was to facilitate future development, streamline the California Environmental Quality Act (CEQA) process, pre-entitle the plan area in a flexible way, and streamline the approval process for future development in the plan area. The specific plan establishes development standards for development of the plan area, including land use and design, circulation, public facilities and services, and permitted and conditionally permitted uses. The specific plan is also intended to eliminate as many subsequent City approvals as possible by streamlining the entitlement process and related approval requirements, including zoning standards, design guidelines, implementation direction, and CEQA compliance. The specific plan establishes development policies, design guidelines, and zoning standards for the specific plan area that supersede Title 17 of the municipal code.

The design review provisions of the specific plan apply in lieu of those of section 17.16.070 of the zoning code. Design review is required for residential development, non-residential development, e.g., commercial, office, industrial, public/quasi-public, and telecommunications tower installations, including attached signage and lighting; free-standing signage and lighting; landscaping; and parking lots, drainage basins and other utility features. The purpose of the design review process is "to promote the orderly and harmonious growth of the Plan Area, to encourage development in keeping with the desired character of the City and Plan Area; to

ensure physical, visual, and functional compatibility between uses; and to help prevent the depreciation of land values by ensuring proper attention is given to site and architectural design.”

The Planning Commission is the designated approving authority and shall approve, conditionally approve, or deny the proposed design review application. As part of the design review process, the Planning Commission may require that “the applicant modify plans in whole or in part and may condition the design review approval to ensure inclusion of specific design features, use of specific construction materials, and conformance with all applicable provisions of the Specific Plan.” Design review approval or any modification thereto may be granted only when the Planning Commission makes all of the following findings:

1. Notification of property owners pursuant to section 17.14.040, “Public Notices,” has been provided for multi-story construction;
2. The proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan objectives and policies, and improvement standards adopted by the city;
3. The proposed architecture, site design, and landscape design are consistent with the specific plan design guidelines and are suitable for the purposes of the building and the site and will enhance the character of the neighborhood, Plan Area, and the community;
4. The development exhibits the Central Coast Industrial architectural theme of one of the alternate architectural themes. If an alternate architectural theme is used, the developer illustrates how the massing, detailing, and other aspects of the design provide a congruency with the Central Coast Industrial architecture;
5. The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties. The plans subject to design review must establish building elevations, colors, and materials;
6. The design adequately addresses the land use compatibility requirements of the Specific Plan;
7. The proposed project addresses automobile, truck, transit, bicycle, and pedestrian circulation, and facilitates site access using alternatives to private automobiles; transportation modes of circulation; and
8. The proposed project is well integrated with the city’s street network, creates unique neighborhood environments, employs architectural design that fosters sense of community, and contributes to a pedestrian oriented environment.

In making findings regarding the compatibility of land uses, the following issues shall be considered, along with any site or project-specific issues that may be identified:

1. Noise or Vibration: Uses, or features of uses, that routinely generate noise audible off the immediate site (e.g., loading docks, powered equipment, etc.) shall be located a minimum of 500 feet from the nearest residential property line, unless a lesser acceptable distance is documented by a noise report;
2. Light or Shadow: Uses that result in direct lighting on adjacent properties, flashing or moving lights visible at residences, or the casting of shadows on residential property more than two hours before sunset or after sunrise, are not compatible with residential uses;
3. Aesthetics: Uses shall be found consistent with the design guidelines;
4. Traffic: Uses with characteristics that could result in high traffic volumes on residential streets shall include measures to reduce traffic. Traffic compatibility shall not be based on meeting level of service standards alone, but shall also consider the appropriateness of project-generated traffic volumes on residential streets; and
5. Hazards: Uses that emit or store potentially hazardous materials, shall be located at a sufficient distance, or with adequate shielding from residential uses, to prevent harm in the event of an accident; a finding of adequacy should be based on adopted standards, or in the absence of adopted standards, consultation with an appropriate agency.

The design review approval shall have an indefinite life and run with the land. However, if amendments are made to the specific plan design standards and/or development standards after a design review is approved and before the approved development is commenced, the design review approval shall expire and become null and void unless construction commences within three years of the specific plan amendment. Design review approvals may be extended in accordance with section 17.18.060 of the zoning code.

CEQA

All CEQA analyses and reviews have been previously completed in accordance with the CEQA guidelines as set forth in California Code of Regulations, Title 14, Chapter 3, Sections 15000 *et seq.* The City prepared an Environmental Impact Report (EIR) for the Walnut Avenue Specific Plan Area, and on August 12, 2014, the City Council certified the Walnut Avenue Specific Plan EIR, adopted required CEQA findings, adopted required statements of overriding considerations, and adopted the proposed mitigation monitoring and reporting program. The EIR certified by the City Council states that the “land use types and development intensities included in the specific plan represent the development scenario used as the basis for analysis of project impacts in this EIR. Future development proposals that modify the location or intensity of uses described by the specific plan may require further CEQA review if found to be inconsistent with the objectives, policies, standards, and implementation measures of the adopted specific plan.”

The proposed project is part of the Walnut Avenue Specific Plan area. The proposed development does not modify the location or intensity of uses described by the specific plan. The proposed development is consistent with the level, type, and extent of commercial/retail development envisioned by the specific plan. It is consistent with the objectives, policies, standards, and implementation measures of the adopted specific plan. Development of the project must be consistent with the mitigation measures set forth in the Mitigation Monitoring and Reporting Program and the mitigation policies incorporated into the Walnut Avenue Specific Plan. With this consistency, the significant environmental impacts addressed by the respective policies and mitigation measures will be reduced to less-than-significant levels. Since the time the EIR was certified and the Mitigation Monitoring and Reporting Program and Walnut Avenue Specific Plan were adopted, there have been no new impacts that require further CEQA review. No further environmental review is required at this time.

BACKGROUND AND PROJECT DESCRIPTION

Existing Development

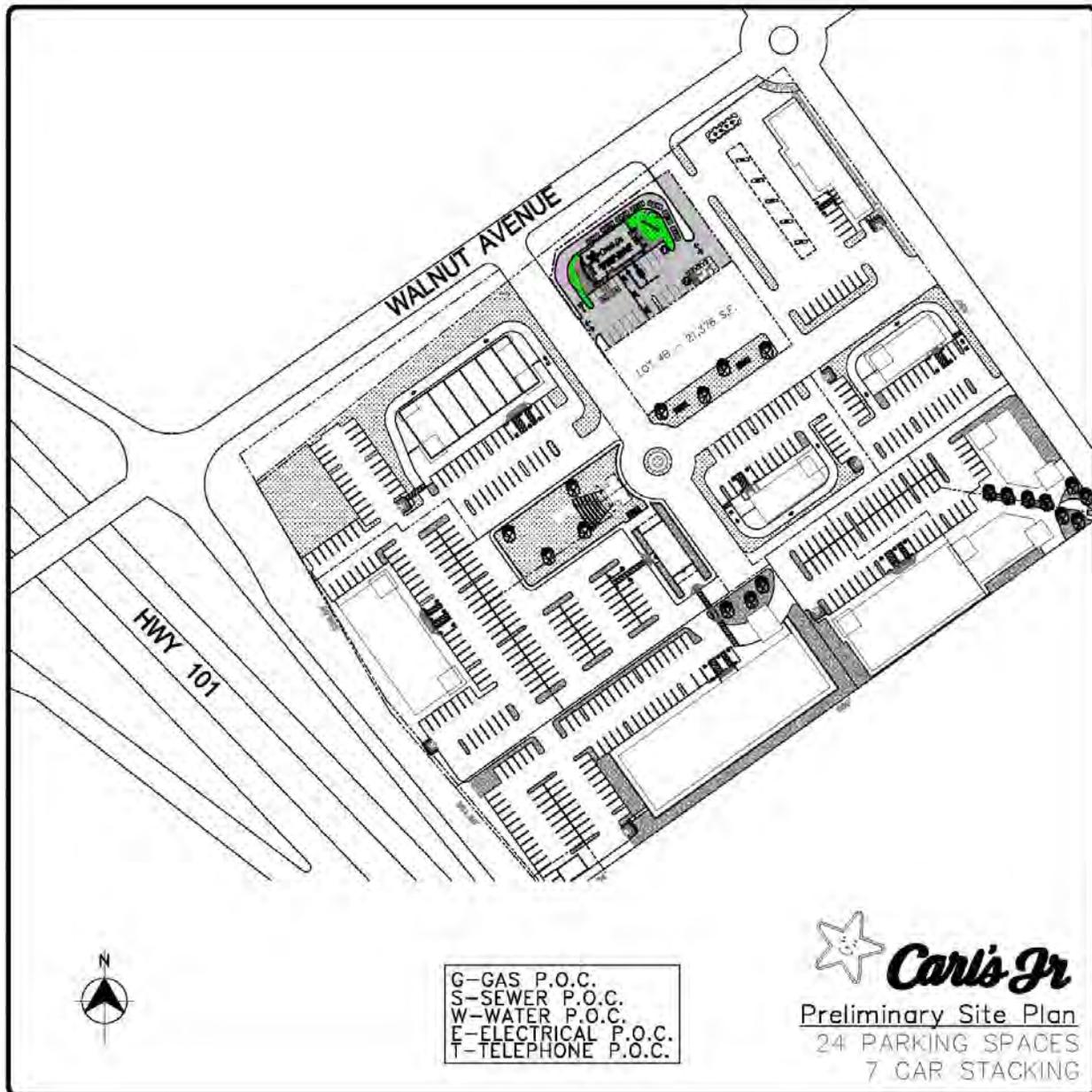
The property on which the project will be developed is part of the Walnut Avenue Specific Plan area and is currently vacant and undeveloped. It has most recently been used for active agriculture production of row crops. The City Council on May 10, 2016, approved a final map for two parcels, totaling approximately 11 acres, for the first development within the Walnut Avenue Specific Plan Area. This current design review application is for the first development project within the approved final map area. The lot for this first project is approximately 25,265 square feet. It is located on the south side of Walnut Avenue approximately midway between 3rd Street and 4th Street. The surrounding land uses, also part of the specific plan area, are currently used for active agriculture production.

Proposed Development

The design review application is for construction of a Carl's Jr. restaurant of 2,581 square feet with drive-through. This is a permitted use under the Walnut Avenue Specific Plan and a conditional use permit is not required. The design includes a single drive-through aisle with two customer windows, one for payment and the other for pick-up. A 50-seat dining area is proposed, along with adjacent outdoor seating. The design is reflective of the preferred Central Coast Industrial architectural theme.

The site borders Walnut Avenue (*see* preliminary site design layout on the following page). Primary vehicular access for traffic east-bound on Walnut Avenue will be from an access road along the eastern property line. Vehicle access for west-bound traffic on Walnut Avenue will be from a public street constructed along the eastern boundary of the 11 acre project area. Primary access to the drive-thru aisle will be from this access road. The drive-thru aisle will parallel Walnut Avenue and the two service windows will face Walnut Avenue. The primary entrance to the restaurant will be on its southern face. Customer parking will be located adjacent to that entrance. A second vehicle entrance will be from an internal roadway adjacent to the western property line. Access to this roadway will be from Walnut Avenue. The two access roads from Walnut Avenue on the eastern and western property lines will allow right-turn only movements.

Left turns, to or from Walnut Avenue, will not be allowed. Left turn vehicle movements will be allowed only at the primary access road along the eastern boundary of the 11 acre project area.



PROJECT ANALYSIS

Land Use: The General Plan and Specific Plan land use designation for this site is Specific Plan (SP-1). This zoning allows for a variety of commercial uses, including restaurants with drive-thru aisles. The minimum lot size is 10,000 square feet. The proposed use is in conformance with the General Plan and Specific Plan land use designations and lot size requirements.

Setback: Per the Walnut Avenue Specific Plan, a minimum 15 foot setback is required from Walnut Avenue. There is no setback requirement along any other property lines. The entire setback from Walnut Avenue must be a permanent landscape area, which may include walkways. The drive-thru aisle is set back 15 feet from Walnut Avenue. This area is fully landscaped as required by the specific plan. The setbacks of the proposed development are in conformance with the requirements of the specific plan.

Height: The specific plan limits primary building height to 2 stories and 35 feet (3 stories and 50 feet with elevator and fire department approval). The proposed restaurant is a single-story with a maximum exterior elevation of approximately 26'-8". This is in conformance with the requirements of the specific plan.

Landscaping: Per the specific plan, the landscaping requirements of chapter 17.54 of the zoning code apply to all commercial development within the specific plan areas. Within the specific plan area, the minimum landscape lot coverage is 15% and a minimum 15 foot landscape buffer is required along the Walnut Avenue property line. Landscape buffers along other property lines are not required, except a 10 foot landscape buffer is required for any property line abutting residential property.

The site plan indicates approximately 6,800 square feet will be pervious surface and landscaping. Street trees will be planted along all street frontages. Landscape islands are provided within the parking lot. Landscape areas are also proposed adjacent to the east and west frontages of the restaurant. For the 25,265 square foot property, a minimum landscape area of 3,790 square feet is required. The proposed site plan significantly exceeds the landscape area requirements of the specific plan.

Other than for trees, the drawings submitted as part of this design review application do not identify specific plantings proposed for the landscape areas. For landscaping adjacent to the drive-thru aisle, section 17.54.050.I of the zoning code requires: "In order to screen vehicles in a drive-through lane and associated headlights from view of abutting street rights of way, a minimum three foot (3') tall landscape barrier shall be established along the outer edge of drive-through aisles." Section 17.54.040.C.3.b further specifies that such plantings shall be a minimum five (5) gallon size with 2' to 4' of spacing, depending on the plant species.

Final landscape and irrigation plans must be submitted as part of the plan check process for issuance of a building permit. The final landscape and irrigation plans shall demonstrate how the size, variety, and spacing of the selected plant materials comply with the drive-through aisle landscape requirement of establishing a minimum 3' tall landscape barrier to screen view of headlights from abutting street rights of way. Issuance of a building permit is conditional upon compliance with all applicable provisions of the landscape requirements and standards of chapter 17.54 of the zoning code. The Planning Director shall review and approve the final landscape plans for conformity with these requirements.

Section 17.54.050.C of the zoning code requires that landscape islands be provided in any parking lot with five or more spaces, and that those islands be at a ratio of one island for every eight spaces, placed at a minimum every ten spaces. The specific plan specifies that parking lot

landscape islands be a minimum of 4' in any dimension. The proposed site plan includes a planter island, with trees and shrubs, at each end of each parking row. An intervening planter island is also provided within each parking row. The location and size of planting islands conform to the landscaping requirements of the specific plan and zoning code.

Fences and Walls: The specific plan limits the use of fencing or walls only when necessary to screen storage, trash, utility, or service/loading areas, protect adjacent areas from unacceptable noise levels, or provide private residential space. The proposed site plan indicates a wall enclosure only around the trash area. No other fences or walls are proposed.

Resource Efficiency: The resource efficiency standards of chapter 17.55 of the zoning code do not apply to nonresidential projects of less than 10,000 square feet. The proposed project is for a building area of 2,581 square feet. The requirements of chapter 17.52 do not, therefore, apply. However, the applicant is encouraged to incorporate into the project the resource efficiency standards set forth in section 17.55.030, especially those related to recycling and diversion, water use efficiency, energy efficiency, and use of postconsumer recycled construction materials.

Lighting: All new nonresidential development is subject to the outdoor lighting requirements of the specific plan and those of chapter 17.56 of the zoning code. At the time of application for a building permit, the project's plans and specifications will be reviewed for conformance with those lighting requirements. A building permit will not be issued if any proposed outdoor lighting is not in compliance with the requirements of the specific plan and chapter 17.56. Upon completion of the project, but before a certificate of occupancy is issued, the applicant shall conduct an as-built, in-field lighting analysis to confirm the outdoor lighting system as constructed and installed complies with the lighting requirements of chapter 17.56.

Parking: Parking requirements for the specific plan area are set forth in chapter 17.58 of the zoning code. The specific plan does state, however, that required parking spaces need not be located on the same parcel as the use the parking spaces serve. Table 17.58-1 of the zoning code requires the provision of one on-site parking space for each 200 feet of dining area. The preliminary floor plan indicates a dining area of approximately 525 square feet. The resulting on-site parking requirement is for three parking spaces. The proposed site plan includes a total of 21 parking spaces, including two accessible spaces. The proposed development significantly exceeds the minimum on-site vehicle parking requirement.

Section 17.58.100 of the zoning code requires the provision of bicycle spaces equal to 20% of the required vehicle spaces, but in no case shall there be fewer than two employee bicycle spaces and two patron spaces. The proposed site plan provides a bicycle rack for five bicycles. This exceeds the minimum on-site bicycle parking requirement.

Signage: All signage provided as part of the proposed development shall be in accordance with the requirements of the specific plan and those of chapter 17.62 of the zoning code. Signs, including standard franchise signs, must be integrated into the building architecture and should enhance the building architecture. Signs should not dominate the building façade. Non-internally lit fin signs, under marquee signs, awning signs, and face mounted building signs are encouraged. Signs may not be placed at an elevation higher than 90% of the building height.

As required by section 17.62.020 of the zoning code, all signage for new construction requires zoning clearance (administrative plan check) by the Planning Director to ensure compliance with the applicable provisions of chapter 17.62, and also those of the specific plan. The building elevations submitted as part of this design review application indicate the exterior signage conforms to the requirements of the specific plan and the zoning code. A detailed signage plan will be submitted at a later date. At that time the Planning Director will review the signage plan to ensure conformance with the requirements of the zoning code and the specific plan.

Performance Standards: Chapter 17.60 of the zoning code sets forth performance standards that apply to all zoning districts to ensure that uses and activities occur in a manner to protect the public health and safety and which do not produce adverse impacts on surrounding properties or the community at large. The mandatory performance standards relate to hazardous materials; noise; odor, particulate matter, and air containment; vibration; and radioactivity, electrical disturbance, or electromagnetic interference. For a restaurant, the only standard that is of particular relevance or applicability is that for noise.

A drive-thru is proposed for this project. This will include an outdoor speaker system for the menu/order board. The sound level of the speaker system must comply with the noise standards specified in section 17.60.030 of the zoning code. At the time the applicant submits final drawings for plan check and issuance of a building permit, the applicant will be required to submit a noise study analysis that demonstrates the speaker system as designed complies with these requirements.

Land Use Compatibility: The specific plan identifies a number of land use compatibility issues that should be considered in any design review. These include:

- **Noise or Vibration:** Uses, or features of uses, that routinely generate noise audible off the immediate site (e.g., loading docks, powered equipment, etc.) shall be located a minimum of 500 feet from the nearest residential property line, unless a lesser acceptable distance is documented by a noise report.

Analysis: The only potential noise source is the outdoor speaker system for the drive-thru. The sound level of the speaker system must comply with the noise standards specified in section 17.60.030 of the zoning code. The proposed site is more than 500 feet from the nearest residential property, which is on the opposite side of U. S. Highway 101. No other noise issues are identifiable for the proposed project.

- **Light or Shadow:** Uses that result in direct lighting on adjacent properties, flashing or moving lights visible at residences, or the casting of shadows on residential property more than two hours before sunset or after sunrise, are not compatible with residential uses.

Analysis: The nearest residential property is on the opposite side of U. S. Highway 101. There is no compatibility issue.

- Aesthetics: Uses shall be found consistent with the design guidelines.

Analysis: The proposed design has been reviewed by Kasavan Architects, the architectural firm that developed the alternative design themes included in the Walnut Avenue Specific Plan. It is their opinion the proposed design is consistent with and reflective of the preferred Central Coast Industrial architectural theme for the specific plan area. The design includes the use of materials and design features of an industrial nature: vertical metal siding, aluminum storefront door and window systems flush to the façade, block veneer wainscoting, goose neck exterior lights, sloping metal canopy roof with metal coping cap, horizontal decorative metal panels behind the franchise name signs, metal awnings, and varying roof heights utilizing both sloping and flat profiles.

A number of comments were submitted and they have been forwarded to the project architect for appropriate response (*see* attached letter). The project architect has submitted revised elevations reflecting the incorporation of those comments and additional design elements for the Central Coast Industrial architectural theme. With these and other modifications recommended by Kasavan Architects, the proposed design is consistent with the preferred Central Coast Industrial architectural theme.

- Traffic: Uses with characteristics that could result in high traffic volumes on residential streets shall include measures to reduce traffic. Traffic compatibility shall not be based on meeting level of service standards alone, but shall also consider the appropriateness of project-generated traffic volumes on residential streets.

Analysis: The project is not located on a residential street and is not anticipated to result in high traffic volumes on any residential street. Primary access will be from Walnut Avenue, primarily a commercial thoroughfare. The traffic volumes generated by a restaurant with drive-thru are consistent with the traffic volumes anticipated in the specific plan EIR. The mitigation monitoring and reporting program identified cumulative traffic impacts and identified appropriate mitigation measures once traffic volumes on residential streets increased beyond specified levels. This initial project will not trigger those mitigation measures.

- Hazards: Uses that emit or store potentially hazardous materials, shall be located at a sufficient distance, or with adequate shielding from residential uses, to prevent harm in the event of an accident; a finding of adequacy should be based on adopted standards, or in the absence of adopted standards, consultation with an appropriate agency.

Analysis: The proposed use will not include either emitting or storing potentially hazardous materials.

RECOMMENDATION

The project brought forth on behalf of Carl's Jr. is to construct an approximate 2,581 square foot Carl's Jr. restaurant with drive-through on a currently vacant and undeveloped parcel as part of the Walnut Avenue Specific Plan area. This is the first project to be developed within the

specific plan area. A number of other commercial development projects for the specific plan area will be coming forward in the next months, soon to be followed with construction of the first buildings of the Walnut Avenue Specific Plan.

The proposed project is consistent with the applicable provisions of the Walnut Avenue Specific Plan and the Zoning Code for development of a “fast food” restaurant with drive-through facility within the specific plan area. It is recommended the Planning Commission accept this report and adopt the attached resolution approving design review for the proposed Carl’s Jr. restaurant as the first project within the Walnut Avenue Specific Plan area.

PROPOSED MOTION

I MOVE THAT THE PLANNING COMMISSION ADOPT RESOLUTION 2016-19 GRANTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A CARL’S JR. RESTAURANT ON WALNUT AVENUE AS PART OF THE WALNUT AVENUE SPECIFIC PLAN AREA.

Attachments:

Drawings
Letter from Kasavan Architects

**CITY OF GREENFIELD PLANNING COMMISSION
RESOLUTION No. 2016-19**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
GREENFIELD GRANTING DESIGN REVIEW APPROVAL FOR THE
CONSTRUCTION OF A CARL'S JR. RESTAURANT LOCATED ON
WALNUT AVENUE AS PART OF THE WALNUT AVENUE SPECIFIC
PLAN AREA**

WHEREAS, an application for Design Review approval for the development of a Carl's Jr. restaurant with drive-through, on an undeveloped parcel on Walnut Avenue between 3rd Street and 4th Street within the Walnut Avenue Specific Plan area in the City of Greenfield, has been submitted to the City of Greenfield; and

WHEREAS, the Walnut Avenue Specific Plan and Environmental Impact Report (EIR) were adopted by the City Council on August 12, 2014; and

WHEREAS, the Walnut Avenue Specific Plan was intended to eliminate as many subsequent City approvals as possible by streamlining the entitlement process and related approval requirements, including zoning standards, design guidelines, implementation direction, and CEQA compliance; and established development policies, design guidelines, and zoning standards for the specific plan area that supersede Title 17 of the municipal code.

WHEREAS, the Walnut Avenue Specific Plan requires Design Review for all nonresidential development, including commercial and retail space development; and

WHEREAS, the Walnut Avenue Specific Plan designates the Planning Commission as the Approving Authority for Design Review; and

WHEREAS, the proposed development is for nonresidential development; and

WHEREAS, the Planning Commission shall approve, conditionally approve, or deny the proposed design review application in accordance with the requirements of the Walnut Avenue Specific Plan; and

WHEREAS, the Planning Commission shall grant Design Review approval only after making certain designated findings as set forth in the Walnut Avenue Specific Plan; and

WHEREAS, the application for Design Review was heard by the Planning Commission at a public meeting;

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Planning Commission of the City of Greenfield has considered all written and verbal evidence regarding this Design Review application at the public meeting and has made the following findings regarding the proposed development:

1. FINDING: That notification of property owners pursuant to section 17.14.040, "Public Notices," has been provided for multi-story construction.
 - (a) Notice of the proposed development and the Planning Commission meeting where hearing was held on the design review application was properly given to all property owners of record, via U.S. Mail and publication in the local newspaper of general circulation, as required by sections 17.16.070 and 17.14.040 of the City of Greenfield zoning code.
2. FINDING: That the proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan objectives and policies, and improvement standards adopted by the city.
 - (a) The proposed site is designated by the general plan and zoning code for commercial development in the Specific Plan (SP-1) zoning district. The proposed restaurant with drive-thru is an allowed use in these general plan and zoning code districts.
 - (b) The preliminary building and site plans indicate the new restaurant conforms to applicable specific plan and zoning regulations, including those relating to lot size and building coverage, building and site setbacks, building height, fences and walls, landscaping, resource efficiency, lighting, parking, signage, and land use compatibility.
 - (c) The proposed project to develop a restaurant on a vacant and undeveloped parcel along Walnut Avenue will support the general plan and specific plan goals to encourage the development of a greater number and diversity of common urban amenities, foster and promote the creation of a more vibrant community, and encourage the redevelopment of substandard and underutilized existing facilities and sites.
 - (d) A restaurant with drive-thru at the proposed location will provide a greater number and diversity of common urban amenities available within the City, by increasing the number and type of services available locally; it will contribute to making Greenfield a more vibrant community; it will redevelop a currently vacant and underutilized site; and it will promote development of the Walnut Avenue Specific Plan area.
 - (e) A restaurant at this location will support further development of the Walnut Avenue Specific Plan area and create a magnet to attract U. S. Highway 101 travelers into Greenfield.
3. FINDING: That the proposed architecture, site design, and landscape design are consistent with the specific plan design guidelines and are suitable for the purposes of the building and the site and will enhance the character of the neighborhood, Plan Area, and the community.

- (a) The proposed design has been reviewed by Kasavan Architects, the architectural firm that developed the alternative design themes included in the Walnut Avenue Specific Plan. It is their opinion the proposed design is consistent with and reflective of the preferred Central Coast Industrial architectural theme for the specific plan area.
 - (b) The design includes the use of materials and design features of an industrial nature: vertical metal siding, aluminum storefront door and window systems flush to the façade, block veneer wainscoting, goose neck exterior lights, sloping metal canopy roof with metal coping cap, horizontal decorative metal panels behind the franchise name signs, metal awnings, and varying roof heights utilizing both sloping and flat profiles.
 - (c) The site design is in conformity with the requirements of the specific plan and the zoning code; and is an appropriate site layout for a retail establishment.
 - (d) The development of a contemporary restaurant utilizing the Central Coast Industrial architectural theme is the first development within the Walnut Avenue Specific Plan area. The proposed design begins to set the standard for future development within the specific plan area.
4. FINDING: That the development exhibits the Central Coast Industrial architectural theme of one of the alternate architectural themes. If an alternate architectural theme is used, the developer illustrates how the massing, detailing, and other aspects of the design provide a congruency with the Central Coast Industrial architecture.
- (a) The proposed design is consistent with and reflective of the preferred Central Coast Industrial architectural theme for the specific plan area (*see* evidence under Finding 3 above).
5. FINDING: That the architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties. The plans subject to design review must establish building elevations, colors, and materials.
- (a) The design is consistent with and reflective of the preferred Central Coast Industrial architectural theme for the specific plan area.
 - (b) A clear design concept is presented with the use of materials and design features of an industrial nature: vertical metal siding, aluminum storefront door and window systems flush to the façade, block veneer wainscoting, goose neck exterior lights, sloping metal canopy roof with metal coping cap, horizontal decorative metal panels behind the franchise name signs, metal awnings, and varying roof heights utilizing both sloping and flat profiles.

- (c) Color elevations identifying colors and materials were included with the design review application. The elevations, colors, and materials are appropriate for the Central Coast Industrial architectural theme.
6. FINDING: That the design adequately addresses the land use compatibility requirements of the Specific Plan.
- (a) The only potential noise source is the outdoor speaker system for the drive-thru. The sound level of the speaker system must comply with the noise standards specified in section 17.60.030 of the zoning code.
 - (b) Light and shadow on nearby residences does not present a compatibility concern as the nearest residential property is more than 500 feet away and on the opposite side of U. S. Highway 101.
 - (c) The design of the restaurant is consistent with and reflective of the preferred Central Coast Industrial architectural theme for the specific plan area (*see* evidence under Findings 3, 4, and 5 above).
 - (d) The project is not located on a residential street and is not anticipated to result in high traffic volumes on any residential street. Primary access will be from Walnut Avenue, primarily a commercial thoroughfare. The traffic volumes generated by a restaurant with drive-thru are consistent with the traffic volumes anticipated in the specific plan EIR. The mitigation monitoring and reporting program identified cumulative traffic impacts and identified appropriate mitigation measures once traffic volumes on residential streets increased beyond specified levels. This initial project will not trigger those mitigation measures.
 - (e) The proposed use will not include either emitting or storing potentially hazardous materials.
7. FINDING: That the proposed project addresses automobile, truck, transit, bicycle, and pedestrian circulation, and facilitates site access using alternatives to private automobiles; transportation modes of circulation.
- (a) The number of parking spaces exceeds the requirements of the zoning code.
 - (b) The number of bicycle racks exceeds the requirements of the zoning code.
 - (c) A public sidewalk will be constructed along Walnut Avenue with a clear pathway and direct connection to the entrance to the restaurant.
 - (d) Vehicular access is from Walnut Avenue. The roadways adjacent to the restaurant site will be developed in accordance with the Final Map for the overall 11 acre project area and the internal vehicular circulation plan for the larger commercial/retail development project.

8. FINDING: That the proposed project is well integrated with the city's street network, creates unique neighborhood environments, employs architectural design that fosters sense of community, and contributes to a pedestrian oriented environment.
- (a) Primary vehicular access will be from Walnut Avenue, a major east-west thoroughfare.
 - (b) Sidewalks will be constructed along Walnut Avenue to facilitate pedestrian access.
 - (c) The street network that will support this development, and future development of the specific plan area, is consistent with the transportation plan elements of the Walnut Avenue Specific Plan.
 - (d) The development of this project is consistent with the Walnut Avenue Specific Plan and the Final Map approved for this development.
 - (e) The use of the Central Coast Industrial architectural theme for this project will support the overall design theme for the specific plan area that will create a uniform design theme for the much larger plan area development.

BE IT FURTHER RESOLVED that the Planning Commission hereby grants Design Review approval to construct a Carl's Jr. restaurant with drive-through on Walnut Avenue between 3rd Street and 4th Street as part of the Walnut Avenue Specific Plan area in the City of Greenfield, as indicated in the project plans reviewed by the Planning Commission and subject to the following conditions:

- 1. The project shall be designed and constructed substantially as depicted on the plans submitted as part of this design review application. Minor modifications shall be reviewed and approved by the Planning Director. Major modifications shall require review and approval by the Planning Commission. The Planning Director shall make the determination whether a modification is minor or major.
- 2. Final landscape and irrigation plans shall be submitted as part of the plan check process for issuance of a building permit. The final landscape and irrigation plans shall demonstrate how the size, variety, and spacing of the selected plant materials comply with the drive-through aisle landscape requirement of establishing a minimum three (3) foot tall landscape barrier to screen view of headlights from abutting street rights of way (*see* section 17.54.050.I and section 17.78.030.B of the zoning code). Issuance of a building permit is conditional upon compliance with all applicable provisions of the landscape requirements and standards of chapter 17.54 of the zoning code. The final landscape and irrigation plans shall also conform to all water conservation regulations issued by the State Water Resources Control Board, including use of drought tolerant species and water efficient drip or micro-spray irrigation systems.

3. Final signage plans shall be submitted as part of the plan check process for issuance of a building permit. The Planning Director will review the signage plans for conformity with the signage standards of the specific plan and the zoning code.
4. The resource efficiency standards of chapter 17.55 of the zoning code do not apply to this project because the building area is less than 10,000 square feet. However, the applicant is encouraged to incorporate into the project the resource efficiency standards set forth in section 17.55.030 of the zoning code, especially those related to recycling and diversion, water use efficiency, energy efficiency, and use of postconsumer recycled construction materials.
5. At the time of application for a building permit, the project's plans and specifications will be reviewed by the Planning Director for conformance with the lighting requirements of chapter 17.56 of the zoning code. A building permit will not be issued if any proposed outdoor lighting is not in compliance with the requirements of this chapter.
6. The speaker system for the drive-through aisle shall comply with all applicable noise control and design standards of section 17.60.030 of the zoning code. At the time final drawings are submitted for plan check and issuance of a building permit, the applicant shall submit a noise study analysis that demonstrates the speaker system as designed complies with these requirements.
7. The design and construction of the project shall comply with all applicable provisions of the City's Standard Conditions for Construction.

PASSED AND ADOPTED by the Planning Commission of the City of Greenfield, at a regularly scheduled meeting of the City Planning Commission held on the 1st day of November 2016, by the following vote:

AYES, and all in favor, therefore, Commissioners:

NOES, Commissioners:

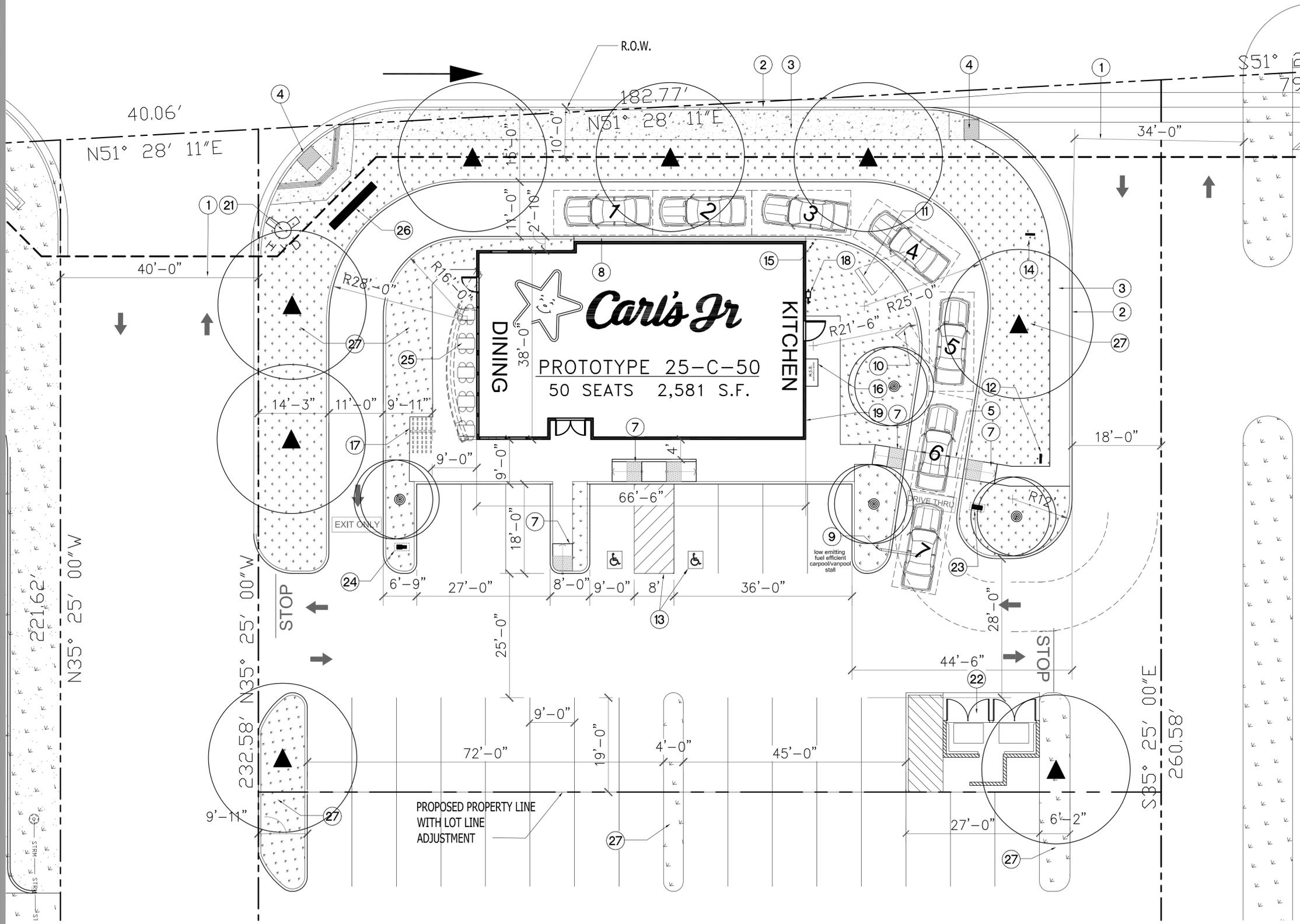
ABSENT, Commissioners:

Drew Tipton
Chairperson, Planning Commission

Desiree Gomez
Secretary, Planning Commission

This sheet and its contents and ideas are the property of SJA Design Group and no use shall be granted without express written consent.

WALNUT AVE



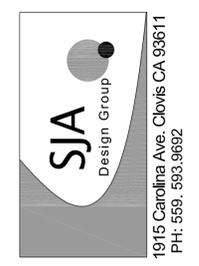
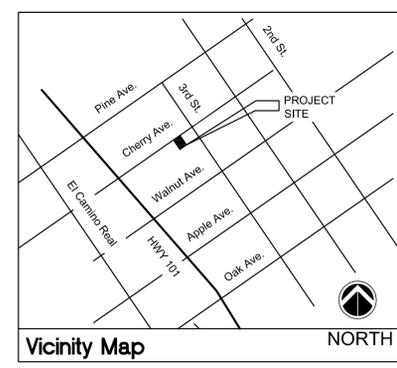
SITE PLAN

| PROJECT DATA : | |
|---------------------|--|
| Use: | Restaurant with drive thru |
| Owner: | Todd Dwyer OnPoint Development 7514 Girard Ave, Suite 1515 La Jolla, CA 92037 |
| Address: | Walnut Ave Greenfield, Ca. |
| Site Area: | Gross Acreage = 25,265 sq. ft. Net Acreage = 23,090 sq. ft. |
| A.P.N.: | Lot 4 109-116-004 |
| Existing Zone: | C-H Highway Commercial |
| Number of Stories: | 1 Story |
| Building Occupancy: | B |
| Construction Type: | VB / Not Sprinklered |

| Demo Site Keynotes | |
|--------------------|---|
| No. | Description |
| 1 | Drive approach per City of Greenfield Public work standards |
| 2 | Curb and gutter per City of Greenfield public work standards |
| 3 | Sidewalk per City of Greenfield public work standards |
| 4 | Curb ramp per City public work standards |
| 5 | Pedestrian path of travel, typ. strip shall be perpendicular to the route and truncated not to be installed in striped access aisle typical |
| 6 | Street light to be relocated |
| 7 | Curb ramp with truncated dome see detail |
| 8 | Pick-Up window |
| 9 | Car Clearance Post see detail |
| 10 | Preview Menu Board see detail |
| 11 | Order confirmation board, speaker see detail |
| 12 | Provide a Directional sign for path of travel per detail x/SD1 |
| 13 | Accessible parking stall, loading aisle, signage and curb ramp see detail 3/SD1 |
| 14 | Accessible Entrance sign shall be posted at each entry drive see detail 1/SD1 |
| 15 | 6" Bollards painted with "Safety Yellow" see detail |
| 16 | Electrical Meter Center, see Elect drawings |
| 17 | Bike rack capacity for (5) |
| 18 | Gas meter location see Mechanical drawings |
| 19 | Location of recycled grease and CO2 hook up valves see exterior elevations |
| 20 | Per CalGreen designate parking space for any combination low emitting fuel efficient and carpool/vanpool. Strip stall as required |
| 21 | Fire hydrant to remain |
| 22 | Trash bin per City of Greenfield Public Work standards see detail |
| 23 | Directional signage "Enter" permit by others |
| 24 | Directional signage "Do Not Enter" permit by others |
| 25 | Outdoor patio seating |
| 26 | Monument sign shown for clarification - separate permit required |
| 27 | Landscape planter area |

| Plant Legend | |
|--------------|--|
| Sym. | DESCRIPTION |
| | TREES WITH 25' TO 30' DIAMETERS LAGERSTROEMIA X FAURIEI " GRAPE MYRTLE" SOPHORA JAPONICA REGENT "JAPANESE PAGODA TREE" |
| | TREES WITH 30' DIAMETERS GINKGO BILOBA "AUTUMN GOLD" PYRUS KAWAKAMII " EVERGREEN PEAR" PLATANUS X ACERFOLIA LONDON PLANE TREE |

(TREE CANOPIES SHOWN AFTER 15 YEARS OF PLANTING)



Carl's Jr.
XXXXX Walnut Ave,
Greenfield, CA



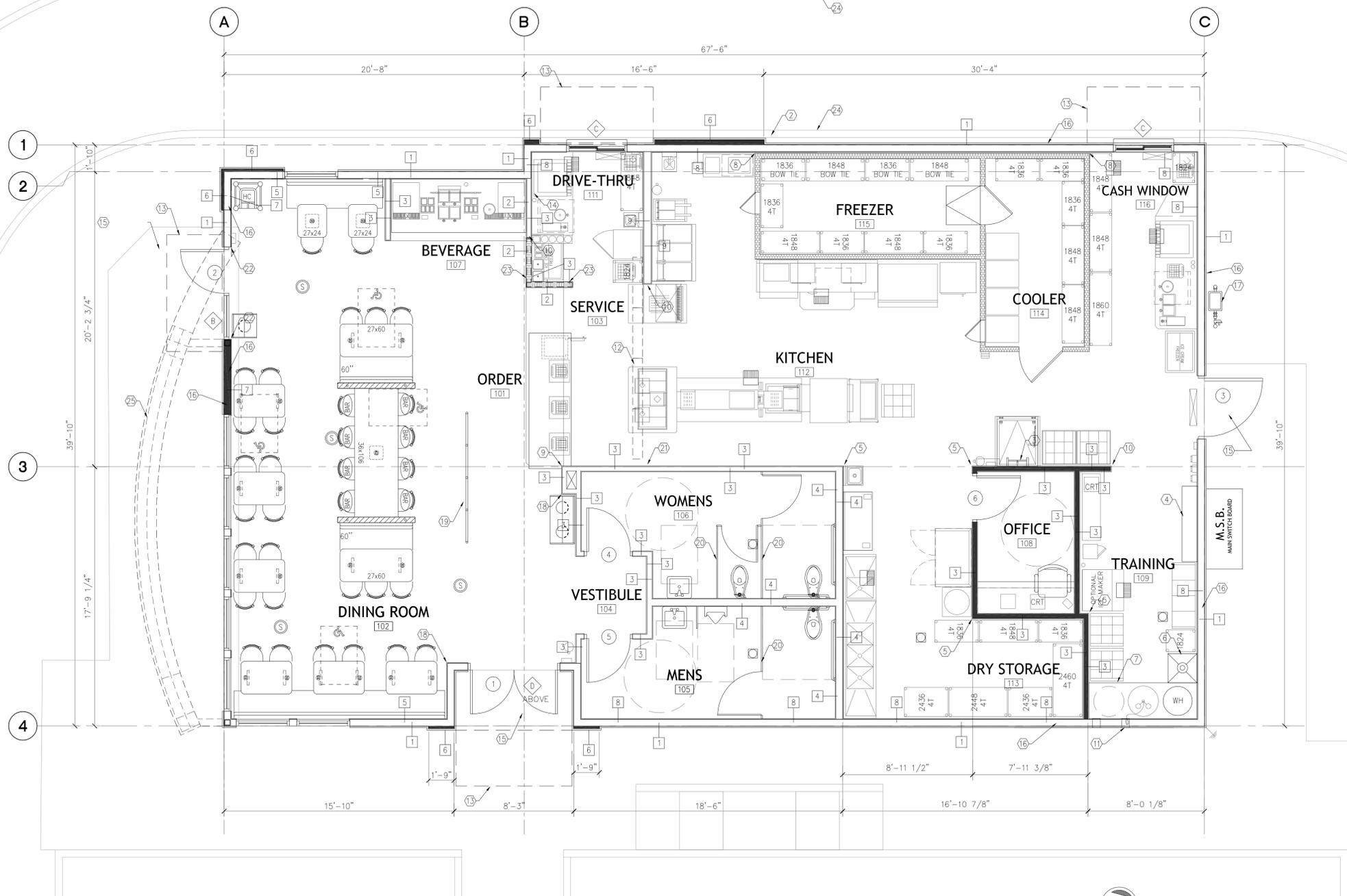
Date: 10.14.16
Drawn By: Susan Jones
Project # 16015

Site Plan

Revisions
△ x

SHEET No.
A0.1

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FLOOR PLAN



NORTH

1/4"=1'-0"

GENERAL NOTES

- 1 REFER TO K1.0 FOR KITCHEN AND SEATING EQUIPMENT.
- 2 PROVIDE WATER RESISTANT GYPSUM BOARD AT KITCHEN AND RESTROOM.
- 4 REFER TO PLUMBING DRAWINGS FOR LOCATIONS OF FLOOR SINKS AND FLOOR DRAINS.
- 5 REFER TO FINISH SCHEDULE, FINISH PLAN AND ELEVATIONS FOR APPLIED FINISHES, SHEET A4.0.

KEY NOTES:

- 1 NOT USED
- 2 6" BOLLARD; RE: 10/A0.2
- 3 ROOF ACCESS LADDER; RE: 12/A3.5
- 4 ELECTRIC PANEL ON CONCRETE CURB; RE: 5/A3.5 & ELECTRICAL
- 5 CORNER GUARD; RE: 4/A3.5
- 6 MOP SINK; RE: 6/A3.5
- 7 CONCRETE CURB; RE: 1&2/A3.5
- 8 CLOSURE STRIP TO SEAL COOLER/FREEZER TO WALL PROVIDED BY WALK-IN SUPPLIER.
- 9 CHAIR RAIL; RE: 4/A3.4
- 10 STAINLESS STEEL JAMB; RE: 10/A3.5
- 11 CO2 FILLER BOX; RE: 3/A3.5
- 12 DIGITAL MENU BOARD ABOVE; RE: ELECTRICAL FOR OUTLETS
- 13 METAL AWNING ABOVE; BY OTHERS, INSTALLED BY GC
- 14 8" THRU WALL CONDUIT; RE: 6&12/A3.4
- 15 LANDING AREA TO BE 2% MAX SLOPE.
- 16 SHEAR WALL; RE: STRUCTURAL
- 17 GAS METER; RE: PLUMBING
- 18 CHAIR RAIL CORNER; RE: 17/A3.5
- 19 QUEUEING LINE RAIL INSTALLED BY SEATING VENDOR
- 20 PARTITIONS; RE: SPECS.
- 21 STAINLESS TRANSITION; RE: 18/A3.5
- 22 CHAIR RAIL CORNER AT DOOR; RE: 2/A3.4
- 23 5'-6" HIGH LOW PARTITION WALL
- 24 LINE OF DRIVE THRU CURB
- 25 ALUMINUM TOWER FOR SIGNAGE BY OTHERS

WALL LEGEND

| | |
|--|--|
| | FULL HEIGHT WALLS |
| | PARTIAL HEIGHT WALLS, PROVIDED AND INSTALLED BY SEATING VENDOR |
| | COOLER/FREEZER WALL, BY MFR |
| | FULL HEIGHT WALL WITH R-11 SOUND BATT INSULATION |
| | SHEAR WALL - VERIFY WITH STRUCTURAL |
| | 5'-6" HIGH WALL |

WALL TYPE SCHEDULE

| MATERIALS | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 |
|-----------------------------------|---|---|---|---|---|---|---|---|---|
| FRAMING | | | | | | | | | |
| 2x4 WOOD STUDS (ON SIDE) | | | | | | | | | |
| 2x4 WOOD STUDS | | | | | | | | | |
| 2x6 WOOD STUDS | | | | | | | | | |
| 6" METAL STUD (22 GA.) | | | | | | | | | |
| SHEATHING | | | | | | | | | |
| 5/8" GYPSUM BOARD | | | | | | | | | |
| 5/8" DENSHIELD TO 12" A.F.F. * | | | | | | | | | |
| 5/8" WATER RESISTANT GYPSUM BOARD | | | | | | | | | |
| 1/2" OSB OR PLYWOOD SHEATHING | | | | | | | | | |

* NOTE: DENSHIELD UP ENTIRE WALL AT HOODS.

Carl's Jr.
 XXXXX Walnut Ave,
 Greenfield, CA



Date: 10.14.16
 Drawn By: Susan Jones
 Project # 16015

Floor Plan

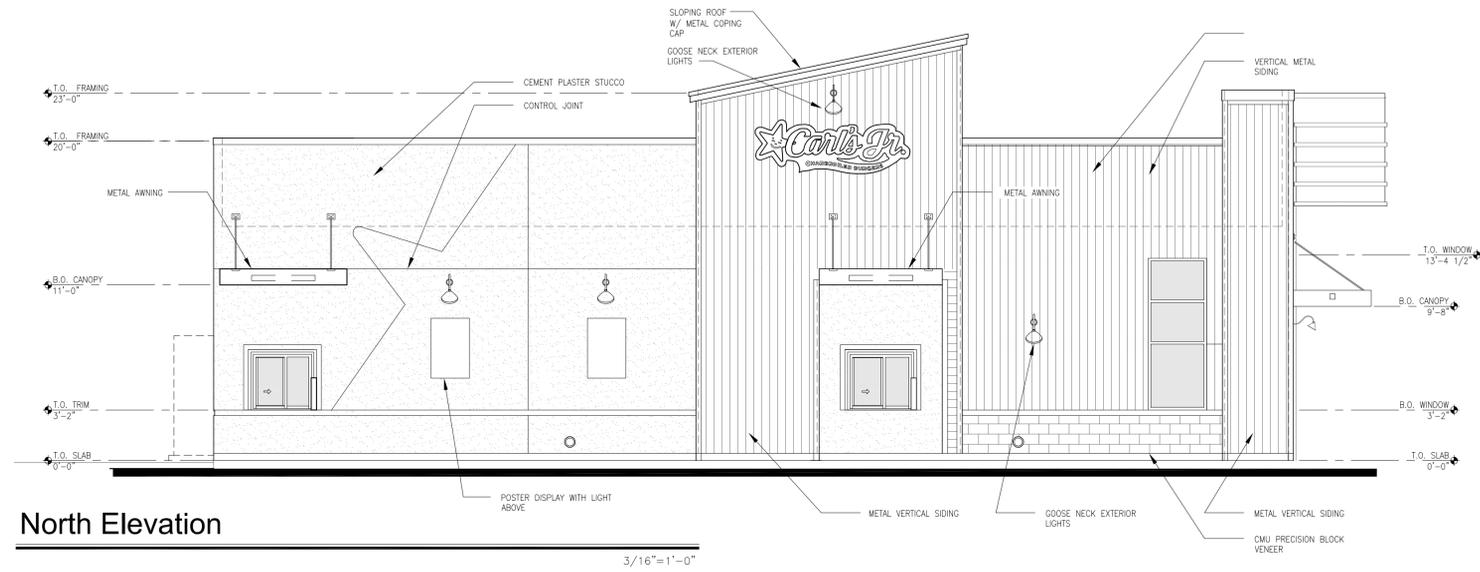
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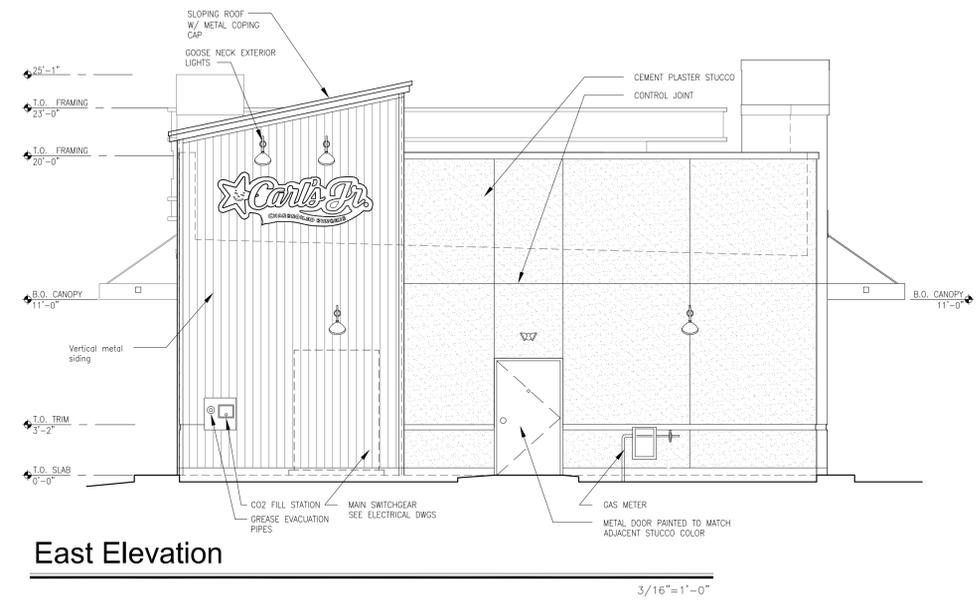
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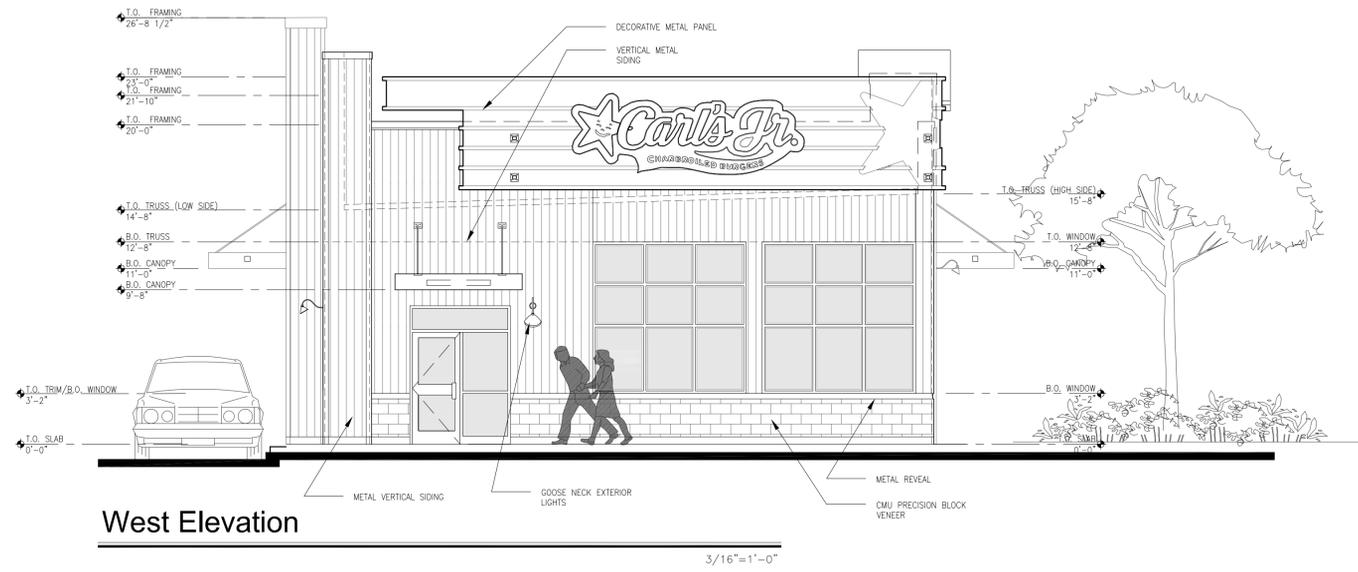
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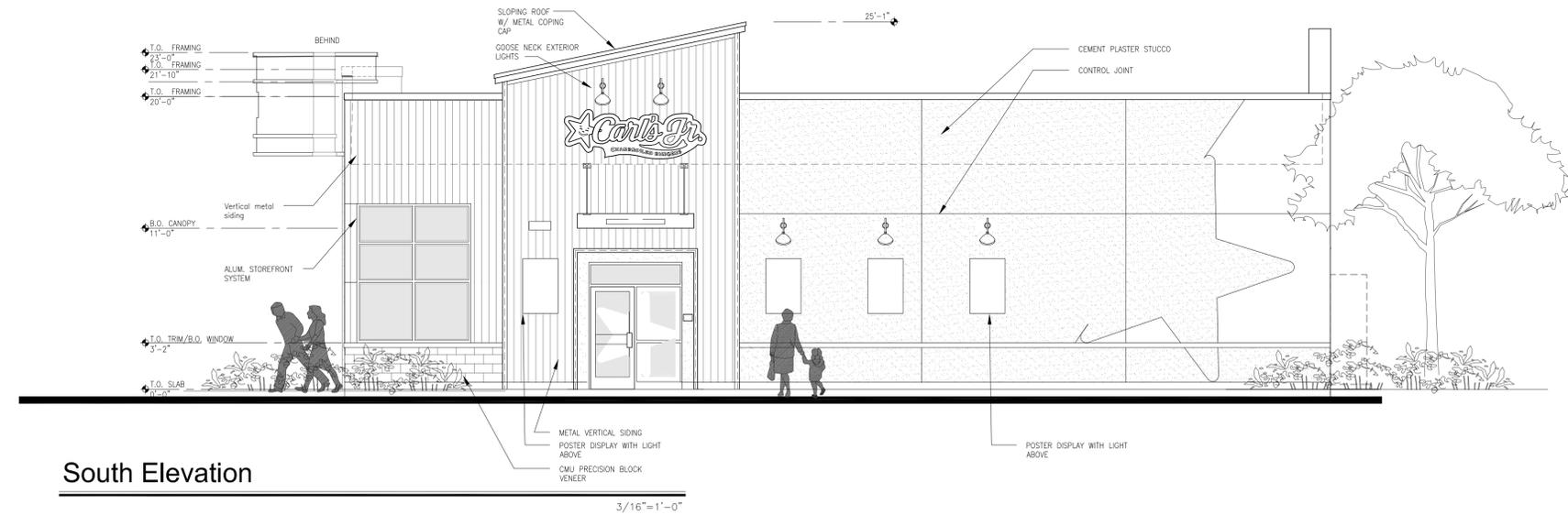
North Elevation



East Elevation



West Elevation



South Elevation

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North Elevation



East Elevation

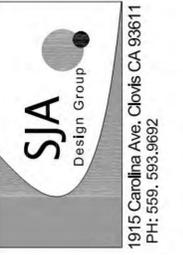


West Elevation



South Elevation

COASTAL INDUSTRIAL



Carl's Jr.
XXXXX Walnut Ave,
Greenfield, CA



Date: 10.06.16
Drawn By: Susan Jones
Project # 16015

Exterior Elevations

Revisions
△ x

SHEET No.

A2.0

October 25, 2016

Mr. Mic Steinmann
Community Services Director
City of Greenfield
599 El Camino Real
P.O. Box 127
Greenfield CA 93927

Subject: Design Review, Carl's Jr. at The Vines at Greenfield

Dear Mr. Steinmann,

I have reviewed the documents you forwarded on October 17, 2016 and submit the following comments based on the Architectural Design Guidelines prepared by my office. (Draft July 2012)

1. General:
 - A. The site fronts on Walnut Avenue and is highly visible between 2 entry points providing access to the other projects in the development.
 - B. This project is the first to come to our attention and will therefore serve as an example for future development.
 - C. The design was reviewed based on the "Central Coast Industrial" Guidelines.
 - D. Review did not include colors or signage.
 - E. We received updated color elevations forwarded on October 24 which address some of these comments.

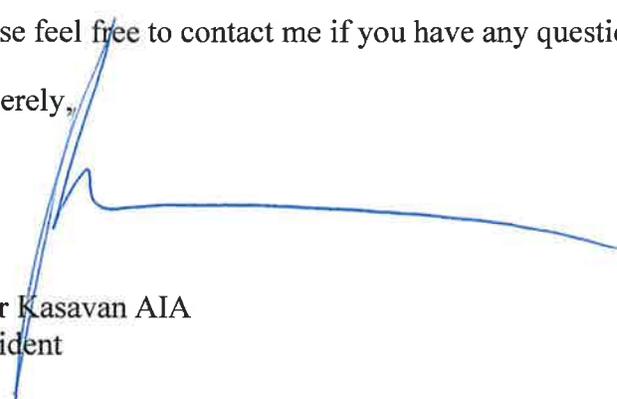
2. Comments:
 - A. The South and East elevations are in substantial compliance with the Guidelines.
 - B. Siding is called out as "Metal Vertical Siding" but profile is not specified. Guidelines recommend pre-finished "corrugated" profile.
 - C. Rectangular shapes shown on West, North and East elevations are not labeled but are placed over what appears to be signage. These may indicate lights. If so, they appear to be conventional wall-pack types rather than the industrial types identified in the guidelines. The updated elevations have addressed this comment
 - D. The North elevation as first sent appeared to be treated as a "back" and does not exhibit any of the industrial design features or materials used on the South and East elevations or discussed in the Guidelines.
Because of its prominent visibility from the public street fronts, from both Walnut Ave. and the prime corner location at an important entry this end of the building should be provided with similar treatment as the South and East elevations such as, metal siding, a canopy over the door and industrial light fixtures such as the "Goose Neck Exterior Lights" used on the other 3 elevations.

E. The updated elevations addresses the previous comment by adding an industrial feature to the East elevation similar to North elevation however I'd add 2 comments to the October 24th version regarding this side:

- 1) It is not clear if or how the added metal siding turns the corner onto the South elevation. It looks like a 2 dimensional plant-on and not a solid form. See the North elevation to see how the metal turns the corner from the West Elev. It would help make this new element feel more solid by shifting the star logo in South elevation to the west to allow this new form to define the corner in a similar fashion.
- 2) A canopy over the service door would be helpful to add some depth and shadow to this elevation and unify it with the other elevations which all have the feature.

Please feel free to contact me if you have any questions or require additional information.

Sincerely,



Peter Kasavan AIA
President



Planning Commission Report

599 El Camino Real Greenfield CA 93937 831-674-5591
www.ci.greenfield.ca.us

DATE: October 26, 2016

AGENDA DATE: November 1, 2016

TO: Planning Commissioners

FROM: Mic Steinmann, Community Services Director

TITLE: **SOUTH END ANNEXATION “THE VINES” RESIDENTIAL
SUBDIVISION VESTED TENTATIVE MAP APPROVAL**

AUTHORITY AND PROCEDURES

The requirements for tentative maps are set forth in the California Government Code, Subdivision Map Act, sections 66452 – 66452.24 and chapter 16.16 of the Greenfield Municipal Code. Sections 16.16.100, 16.16.110, and 17.14.050 of the municipal code establish the City Council as the final approving authority for tentative subdivision maps. The Planning Commission is charged with responsibility to review tentative map applications; make a report to the City Council with respect to the design of the subdivision and the kind, nature, and extent of the proposed improvements; and make findings and recommendations for approval, conditional approval, or denial of the proposed tentative map to the City Council.

The City Council shall not approve or conditionally approve a tentative map unless it finds that the proposed subdivision, together with the provisions for its design and improvement, is consistent with the general plan, zoning and subdivisions codes, and any applicable specific plan. The State Subdivision Map Act and the City subdivisions code specify that the City Council shall not approve or conditionally approve a tentative map if it makes any of a number of specified findings.

CEQA

All CEQA analyses and reviews have been completed in accordance with the CEQA guidelines as set forth in California Code of Regulations, Title 14, Chapter 3, Sections 15000 et seq. On October 11, 2016, the City of Greenfield City Council certified the South End Annexation Supplemental Environmental Impact Report (SEIR), adopted the required CEQA findings, and

adopted a Mitigation Monitoring and Reporting Program. No further CEQA review is required for this vested tentative map application.

BACKGROUND

On October 4, 2016, the Planning Commission held public hearing on the South End Annexation project. The Planning Commission adopted Resolution 2016-16 recommending the City Council: (1) certify the Final SEIR; (2) adopt the Mitigation Monitoring and Reporting Program; (3) approve the rezoning of the overall project site to R-L (Single Family Residential), C-H (Highway Commercial) with GMO (Gateway and Mixed Use Overlay), I-H (Heavy Industrial), and PQP (Public/Quasi Public); and (4) direct staff to move forward with an application to LAFCO for annexation of the project area based upon these approvals. On October 11, 2016, the City Council held public hearing on these same matters and adopted a resolution taking each of the actions recommended by the Planning Commission.

The Planning Commission public hearing on October 4, 2016, also included consideration of a vesting tentative subdivision map for a portion of the proposed annexation area for 150 single-family homes, roadways, agricultural buffers, and related neighborhood improvements. At that time, further refinement of the vesting tentative map was in progress to ensure technical conformity with the mapping requirements of chapter 16.16 of the City's subdivision code. The public hearing and final action by the Planning Commission recommending approval of the vesting tentative subdivision map was continued to this date, November 1, 2016.

PROJECT REVIEW AND ANALYSIS

Site Description

“The Vines” Vesting Tentative Subdivision Map encompasses 47 acres south and west of Greenfield High School. The site is currently used for active agriculture production of row crops. The topography of the site is nearly flat and contains no significant natural hills, ridges, ravines, or other topographic features. There are no watercourses or wetlands on the property or in the vicinity, nor are there any trees of substantial stature or significance.

Conformance with the General Plan and Zoning Ordinance

The project site has been rezoned Single Family Residential (R-L). The General Plan designation is Low Density Residential. The subdivision proposes 150 single-family lots ranging in size from 6,000 to 12,000 square feet, consistent with the City's Single Family Residential designation. The site was previously approved for 329 units in 2008. As described in the Greenfield General Plan (2005), the Single Family Residential designation provides for the development of low-density, single-family residential housing and allows for a minimum of one dwelling unit and a maximum of seven dwelling units per acre, with a minimum parcel size of 6,000 square feet. This subdivision is 3.2 units per acre. The subdivision meets the City's lot size and density requirements and conforms to the land use designations of the General Plan and Zoning Code.

As this project proceeds through the development review and approval process, all development standards for the R-L zoning district (*see* zoning code section 17.30.040) will be met as a

condition of further project approval. These development standards include those pertaining to accessory structures, landscaping, resource efficiency, lighting, parking, and signage.

Open Space/Agricultural Buffers

The subdivision includes interim agricultural buffers on its south and west boundaries, consistent with criteria contained in the City/County/LAFCO Memorandum of Agreement (MOA).

Retention Basins

The 200-foot agricultural buffer on the south parcel line includes a 50-foot-wide stormwater retention area. It is the City's desire that this not be a dedicated retention basin with no other public use.

Landscaping

The proposed project does not include a detailed landscaping plan. Landscaping will be required to include a variety of trees, shrubs, groundcover, perennials, and vines along project streets, as well as detailed plans for residential areas and public use facilities. Landscape plans will be required for submittal, review, and approval prior to approval of improvement plans and issuance of building permits.

Traffic and Circulation Improvements

Primary access to the project site will be from El Camino Real at a new intersection designed to serve the development. Right-of-way widths for interior streets range from 56 to 68 feet. The streets also include 5-foot-wide sidewalks.

Affordable Housing Requirement

The project is intended to be market and upper-market rate housing on larger lots – upper-end housing. The project is intended to be move-up rather than entry level. This is the type of housing and subdivision that does not exist in Greenfield or in any of the other south county communities. It has been an express desire of the City Council that a future development address this “missing” segment of the local housing market. “The Vines” subdivision is intended to fulfill that desire.

The City's inclusionary housing ordinance requires all residential developments to contribute to the provision of housing for very low, low, and moderate income households in the city. A residential development may be exempted from all or a portion of that requirement at the recommendation of the Planning Commission and as approved by the City Council, provided the City Council makes written findings supporting the determination that two or more of the situations listed in section 17.51.080.C of the zoning code exist. For the proposed project, the two applicable situations are: (1) the number of existing affordable housing units within one-half mile of the proposed development exceeds 20% of the total number of proposed housing units and (2) the project proposes significant amenities above and beyond those required as a result of the development to the benefit of the city.

The Monterey County Housing Authority Los Ositos and CHISPA Tyler Park Townhome projects, both affordable housing projects, are within one-half mile of the project site. The provision of upper-market, upper-end housing on larger lots substantially exceeds the requirements for a “standard” single-family housing subdivision. This is a type of housing that does not currently exist in the city. This is a benefit to the city for which the City Council has previously expressed strong support and a desire to bring some upper-end housing availability to the city.

Parking

All 150 single-family homes will need to include enclosed or covered parking for two cars and two more spaces in driveways to meet the requirements set forth in table 17.58-1 of the zoning code.

Construction/Site Preparation

Clearing/grading typical for the construction of an urban residential neighborhood will be necessary. The subdivision does not propose a phasing plan; however, the project site could be developed in phases. All aspects of construction and site preparation will be required to comply with all applicable federal, state, and local codes and will be reviewed and approved by the Building Official or the City Engineer. Compliance with the City’s Standard Conditions for Construction will be required.

Public Services and Infrastructure

Public services and facilities, such as water, wastewater, gas, and electricity, will be extended from the City’s infrastructure network to the project site. Electrical and natural gas service will be provided by Pacific Gas and Electric Company (PG&E). Telecommunications services will be provided by AT&T (or current provider), and cable television will be provided by Charter Communications (or current provider). The Greenfield Police Department will provide law enforcement services to the development upon annexation, and firefighting and emergency response services will be provided by the Greenfield Fire Protection District.

Conformance with LAFCO Annexation Policy

The Monterey County Local Agency Formation Commission (LAFCO) controls boundary changes (annexations) for local jurisdictions and special districts in Monterey County, including annexations and amendments to a jurisdiction’s sphere of influence. As such, LAFCO is a responsible agency in considering the project and is the decision-making body for the annexation. The annexation was analyzed as a part of the SEIR process. Based on this analysis, the City Council previously found that the entire South End Annexation, including The Vines residential subdivision, is consistent with LAFCO policy and the provisions of the City/County/LAFCO MOA.

Permanent and Interim Agricultural Land Use Buffers

Consistent with the Greater Greenfield Area Memorandum of Agreement, the annexation area will require permanent and interim buffers to ensure adequate distance between active

agriculture and urban land uses. Interim buffers of 70 feet will be provided along the western edge of the Scheid West parcel, in “The Vines” subdivision. The Scheid West parcel also includes a 200-foot interim buffer on its southern edge. Interim buffers will remain until such time that urban uses are extended and the buffer is no longer needed. The location, width, and status of these buffers (permanent versus interim) are consistent with the MOA, as well as with the City’s General Plan and LAFCO policy guidance.

Conformance with Subdivisions Code and State Subdivision Map Act

The tentative map submitted with this application was prepared in compliance with the requirements of sections 16.16.020 and 16.16.030 of the City of Greenfield Subdivisions Code and the State Government Code, Subdivision Map Act, sections 66452 – 66452.24. The tentative map complies with all local and state requirements for approval of the proposed vested tentative map.

SUMMARY/STAFF RECOMMENDATION

The applicant is requesting approval of a vested tentative subdivision map for the proposed annexation area that will allow 150 single-family homes, roadways, agricultural buffers, and related neighborhood improvements. The proposed vested tentative map is consistent with the intent of the general plan and prior general plan amendments for this area. The proposed vested tentative map is also consistent with the applicable provisions of the zoning code and the subdivision ordinance for development of property as they relate to lot size, configuration, density, and design. The SEIR and Mitigation Monitoring and Reporting Program for this project certified/approved by the City Council on October 11, 2016, included conditions which address the mitigations within the General Plan EIR and the South End SEIR, the City’s standard conditions of development, and the specific design issues on this site. Development of the property shall be subject to the City’s Standard Conditions for Construction.

The applicant is requesting exemption from the City’s inclusionary housing requirement. Upon recommendation of the Planning Commission, the City Council may grant such exemption upon making written findings supporting the determination that two or more of the situations listed in section 17.51.080.C of the zoning code exist. For the proposed project, the two applicable situations are: (1) the number of existing affordable housing units within one-half mile of the proposed development exceeds 20% of the total number of proposed housing units and (2) the project proposes significant amenities above and beyond those required as a result of the development to the benefit of the city.

It is, therefore, recommended the Planning Commission adopt a resolution recommending that the City Council approve the Vested Tentative Map for the Scheid West property (“The Vines”) and approve exemption of the project from the City’s inclusionary housing requirements.

PROPOSED MOTION

I MOVE THAT THE PLANNING COMMISSION ADOPT RESOLUTION 2016-20 RECOMMENDING THAT THE CITY COUNCIL APPROVE THE VESTED TENTATIVE MAP FOR “THE VINES” RESIDENTIAL SUBDIVISION.

**CITY OF GREENFIELD PLANNING COMMISSION
RESOLUTION No. 2016-20**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
GREENFIELD RECOMMENDING THAT THE CITY COUNCIL OF THE
CITY OF GREENFIELD APPROVE THE VESTED TENTATIVE MAP
FOR “THE VINES” RESIDENTIAL SUBDIVISION AS PART OF THE
SOUTH END ANNEXATION PROJECT**

WHEREAS, California Government Code, Subdivision Map Act, sections 66452 – 66452.24 and chapter 16.16 of the Greenfield Municipal Code set forth requirements for subdivisions and tentative maps; and

WHEREAS, the City of Greenfield Municipal Code establishes the City Council as the designated Approving Authority for subdivisions and tentative maps; and

WHEREAS, the City of Greenfield Municipal Code charges the Planning Commission with responsibility to review tentative map applications; make a report to the City Council with respect to the design of the subdivision and the kind, nature, and extent of the proposed improvements; and make findings and recommendations for approval, conditional approval, or denial of the proposed tentative map to the City Council; and

WHEREAS, an application has been submitted for the creation of a subdivision and vested tentative map for certain proposed residential property as part of the South End Annexation project, APN: 221-011-068, located in the City of Greenfield, California; and

WHEREAS, the California Environmental Quality Act (CEQA) requires an assessment of the environmental impacts of a proposed project and the adoption of all feasible measures to mitigate those impacts; and

WHEREAS, the City of Greenfield City Council on October 11, 2016, certified the South End Annexation Supplemental Environmental Impact Report (SEIR), adopted the required CEQA findings, adopted a Mitigation Monitoring and Reporting Program, approved rezoning of the site to Single Family Residential (R-L), and directed staff to prepare and forward an annexation application to LAFCO; and

WHEREAS, the vested tentative map application consists of a project analyzed as part of the certified SEIR; and

WHEREAS, the City of Greenfield Planning Director has reviewed and analyzed the requested vested tentative map and has recommended the Planning Commission adopt a resolution recommending the City of Greenfield City Council approve such vested tentative map; and

WHEREAS, the City's Inclusionary Housing Ordinance requires all residential developments to contribute to the provision of housing for very low, low, and moderate income households in the city; and

WHEREAS, a residential development may be exempted from all or a portion of the inclusionary housing requirements at the recommendation of the Planning Commission and as approved by the City Council, provided the City Council makes written findings supporting the determination that two or more of the situations listed in section 17.51.080.C of the zoning code exist; and

WHEREAS, the action now before the Planning Commission was heard, reviewed, and discussed by the Planning Commission at a duly noticed public hearing;

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Planning Commission of the City of Greenfield does make the following Findings:

1. **FINDING:** The proposed project is substantially in conformance with the City of Greenfield General Plan, Subdivisions Code, Zoning Code, and other Municipal Code requirements and standards.
 - (a) The General Plan denotes the project site as Low Density Residential and the rezoning designation is Single Family Residential (R-L);
 - (b) The subdivision proposes 150 single-family lots ranging in size from 6,000 to 12,000 square feet, consistent with the City's Single Family Residential designation. The Single Family Residential designation provides for the development of low-density, single-family residential housing and allows for a minimum of one dwelling unit and a maximum of seven dwelling units per acre, with a minimum parcel size of 6,000 square feet. This subdivision is 3.2 units per acre;
 - (c) As this project proceeds through the development review and approval process, all development standards for the R-L zoning district (zoning code section 17.30.040) will be met as a condition of further project approvals. These development standards include those pertaining to accessory structures, landscaping, resource efficiency, lighting, parking, and signage;
 - (d) The subdivision includes public streets, new water, sewer, storm drain, public utility lines, open space, and detention facilities designed in conformance with City standards. All improvements to City utilities will be constructed to City standards both on and off the site;
 - (e) Development of the project site will be required to comply with the City's Standard Conditions for Construction; and

- (f) The project is consistent with the General Plan, the SEIR for the South End Annexation project, the Zoning Code, and other City development standards.
2. **FINDING:** The site is suitable for the type and density of development proposed.
- (a) The project site is nearly flat, undeveloped, and located outside the floodplain.
 - (b) The proximity to existing development and City services makes infrastructure improvements to serve the site feasible economically and physically; and
 - (c) El Camino Real provides direct access to the project area; on-site streets will be developed as part of this project providing connection to the citywide network.
3. **FINDING:** The proposed project will not cause substantial environmental damage, nor substantially or unavoidably injure fish or wildlife or their habitat.
- (a) The SEIR identified no native habitat or fish and wildlife on the site, which has been used primarily for farming;
 - (c) Best available technology (such as on-site retention basins) will be used to ensure there are no water quality impacts from drainage of the site;
 - (d) The South End Annexation project can fully mitigate for agricultural land conversion through the Williamson Act Easement Exchange process, thus eliminating a significant unavoidable impact; and
 - (e) Mitigation measures have been included as conditions of approval and within the Mitigation Monitoring and Reporting Program to reduce potential environmental impacts to a less than significant level where feasible.
4. **FINDING:** The establishment, maintenance, and operation of the project's land uses will not, under the circumstances, be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the vicinity of the proposed development, or to its future residents, or to the general welfare of the city.
- (a) This project has been reviewed by all responsible, city, county, regional, and state agencies, and conditions of approval (mitigation) have been applied as deemed necessary by Planning and Public Works staff to ensure the continuing public health, safety, and orderly development of the surrounding area; and
 - (b) All infrastructure as known at this time has been reviewed and a determination has been made that the site can and will be provided with the required municipal services.
5. **FINDING:** The payment of school impact fees, the provision of park and recreational facilities in accordance with sections 16.36.020 and/or 17.16.080 of the municipal code, and the immediate proximity to Greenfield High School and Vista Verde Middle School,

and the significant outdoor recreation facilities of each school, are adequate measures for the accommodation of school and park and recreation facilities for residents of this site.

- (a) The proposed subdivision will provide park and recreational facilities, or provisions therefor, in accordance with the requirements of sections 16.36.020 and/or 17.16.080 of the municipal code;
 - (b) The project is immediately adjacent to Greenfield High School and Vista Verde Middle School and the large outdoor recreation facilities associated with each school;
 - (c) A direct pedestrian and bicycle pathway between the subdivision and the activity field of Vista Verde Middle School will be provided; and
 - (d) The proposed subdivision will pay all required school impact fees to address school impacts from the residential development of the site.
6. **FINDING:** All requirements of the California Environmental Quality Act have been met.
- (a) The proposed subdivision is part of the South End Annexation project for which a SEIR and Mitigation Monitoring and Reporting Program were prepared, and certified/adopted by the City, to address the potential environmental impacts of the proposed subdivision.
7. **FINDING:** The number of existing affordable housing units within one-half mile of the proposed development exceeds 20% of the total number of proposed housing units.
- (a) The Los Ositos very low and low income housing development, owned and operated by Monterey County Housing Authority, is within one-half mile of the proposed development;
 - (b) The Tyler Park Townhome project, another low and moderate income affordable housing project, owned and operated by CHISPA, is within one-half mile of the proposed development; and
 - (c) The number of very low, low, and moderate income housing units available in the Los Ositos and Tyler Park Townhome affordable housing projects exceeds 20% of the number of single-family homes proposed for this subdivision.
8. **FINDING:** The project proposes significant amenities above and beyond those required as a result of the development to the benefit of the city.
- (a) The proposed project is intended to be market and upper-market rate housing on larger lots – upper-end housing; the project is intended to be move-up rather than entry level;

- (b) The type of housing proposed for this subdivision is the type of housing and subdivision that does not exist in Greenfield or in any of the other south county communities;
- (c) It has been an express desire of the City Council that a future residential development project address this “missing” segment of the housing market;
- (d) The provision of upper-market, upper-end housing on larger lots substantially exceeds the requirements for a “standard” single-family housing subdivision; and
- (e) The provision of upper-market, upper-end housing on larger lots is a benefit to the city for which the City Council has previously expressed strong support and a desire to bring some upper-end housing availability to the community.

BE IT HEREBY FURTHER RESOLVED that the Planning Commission of the City of Greenfield recommends to the City of Greenfield City Council:

1. That the City of Greenfield City Council approve the proposed vested tentative map for the subdivision of the property the subject of this vested tentative map application, APN: 221-011-068, into 150 single-family residential lots with streets and sidewalks, storm water detention facilities, and permanent and interim agricultural buffers; and
2. That the City of Greenfield City Council approve exemption of the project from the City’s inclusionary housing requirements of chapter 17.51 of the municipal code.

PASSED AND ADOPTED by the Planning Commission of the City of Greenfield, at a regularly scheduled meeting of the Planning Commission held on the 1st day of November 2016, by the following vote:

AYES, and all in favor, therefore, Commissioners:

NOES, Commissioners:

ABSENT, Commissioners:

Drew Tipton, Chairperson
 Planning Commission

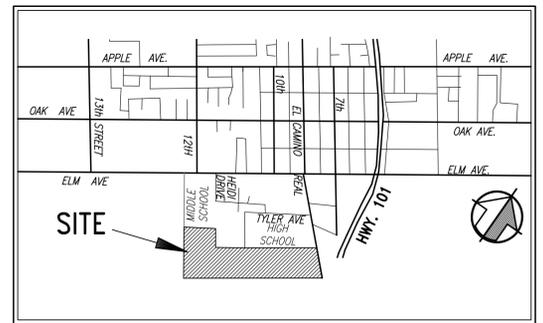
Desiree Gomez, Secretary
 Planning Commission

VESTING TENTATIVE MAP

THE VINES

CITY OF GREENFIELD, CALIFORNIA

OCTOBER 2016



VICINITY MAP—CITY OF GREENFIELD
NOT TO SCALE

SHEET INDEX

- TM-1 COVER SHEET
- TM-2 DIMENSIONAL PLAN
- TM-3 DIMENSIONAL PLAN

DEVELOPER'S STATEMENT

APPLICANT:
GEARY COATS / COATS CONSULTING
P.O. BOX 1356
CARMEL, CA 93921

OWNER:
SCHEID VINEYARDS
305 HILLTOWN ROAD
SALINAS, CA 93908

ASSESSOR'S PARCEL NO: 221-011-068

GENERAL PLAN DESIGNATION: LOW DENSITY RESIDENTIAL

EXISTING ZONING: COUNTY AGRICULTURAL

PROPOSED ZONING: SINGLE FAMILY RESIDENTIAL SUBDIVISION

PROPERTY LOCATION: CITY OF GREENFIELD

GROSS PROPERTY SIZE:

46.86 ACRES (EXISTING BOUNDARY/PROPERTY LINE)

PROPOSED DEVELOPMENT AREA:

RESIDENTIAL LOTS 26.60 ACRES

STREETS 15.41 ACRES

PERCOLATION BASIN 4.82 ACRES

NET DENSITY - 150 LOTS / 46.86 ACRES - 3.20 LOTS / ACRES

MINIMUM LOT SIZE - 6,000 SF

AVERAGE LOT SIZE - 7,725 SF

PROPOSED DEVELOPMENT:

SINGLE FAMILY RESIDENTIAL LOTS - 150 LOTS

STORM WATER PERCOLATION BASIN - 1 PARCEL (PARCEL A)

PROPOSED DEVELOPMENT:

FULLY DEVELOPED LOTS AND HOUSES

PHASING: MAY BE DEVELOPED IN PHASES

STRUCTURES TO BE DEMOLISHED: YES

PAST AND RECENT USE: AGRICULTURAL

CURRENTLY USED FOR FARMING

SANITARY SEWER SERVICE: CITY OF GREENFIELD SYSTEM CONNECTING TO THE SEWER MAIN IN EL CAMINO REAL AT NORTHERN HIGH SCHOOL DRIVEWAY.

STORM WATER SYSTEM: A SERIES OF STORM DRAIN CATCH BASINS AND UNDERGROUND PIPES FOR THE SUBDIVISION THAT WILL COLLECT AND CONVEY STORM WATER RUNOFF TO A NEW PERCOLATION BASIN LOCATED ALONG THE SOUTHEAST BOUNDARY OF THE PROPERTY (PARCEL A)

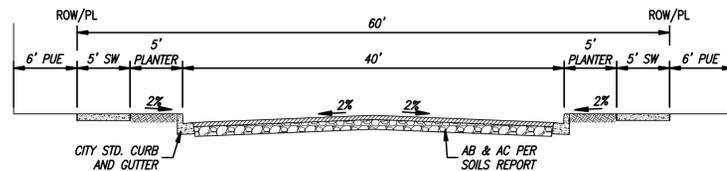
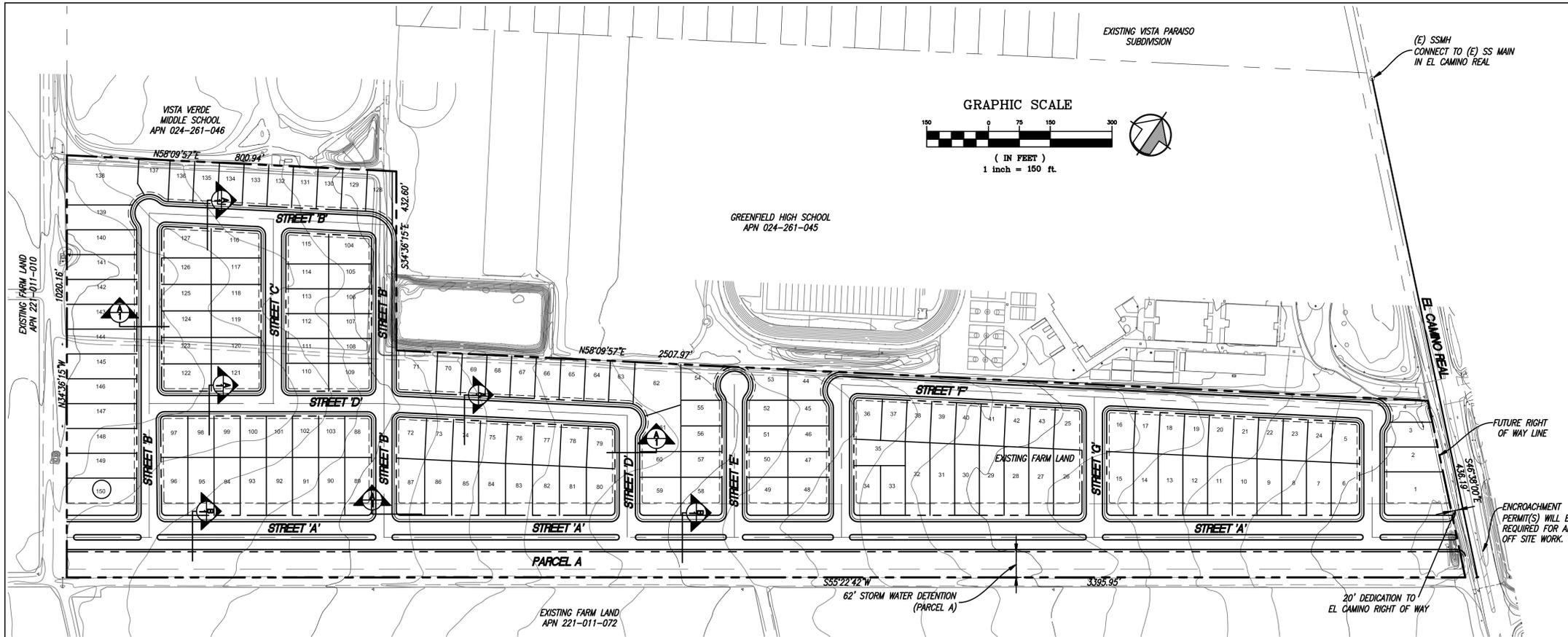
WATER SERVICE: CITY OF GREENFIELD WATER SYSTEM WITH SERVICE FROM EL CAMINO REAL.

GAS & ELECTRIC SERVICE FROM PACIFIC GAS AND ELECTRIC

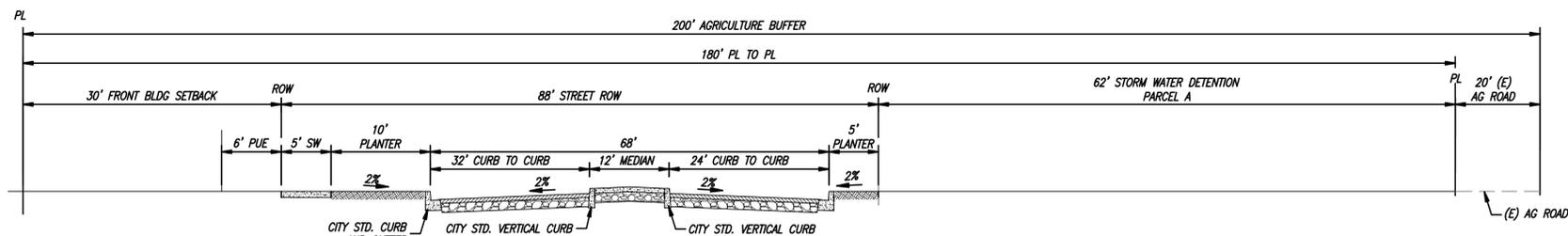
CABLE TELEVISION SERVICE FROM CHARTER COMMUNICATIONS

TELEPHONE SERVICE FROM SBC

EXISTING TOPOGRAPHY IS SHOWN PER AERIAL SURVEY BY KELLOGG AERIAL SURVEYS RECEIVED 12-10-2007



A INTERIOR STREET
NTS
STREET 'B', STREET 'C', STREET 'D',
STREET 'E', STREET 'F', STREET 'G',



B STREET A
NTS

| | | | |
|--------------|-------------|-----------|--|
| DESIGNED BY: | RS/RK | DATE: | |
| DRAWN BY: | RK | APPROVED: | |
| CHECKED BY: | LOG | DATE: | |
| SCALE: | 10'-21'-16" | AS NOTED | |

225 Cannery Row, Suite H
Monterey, CA 93940
Tel (831) 373-1333
Fax (831) 373-0733
www.cdengineers.com

Creogan+D'Angelo
INFRASTRUCTURE ENGINEERS

Greenfield California
Scheid Vineyards
Vesting Tentative Map
The Vines
Cover Sheet
Monterey County

SHEET NUMBER
TM-1
OF 3 SHEETS
DRAWING NO.
716002

DRAWING: P:\DRAWING\716002.DWG VINES SUBDIVISION TENTATIVE MAP.TM 01-COVER.DWG
DATE: OCTOBER 21, 2016 11:22:58 AM

APRIL 20, 2010 11:26:38 am

APN 221-01-00

APN 221-01-072

VISTA VERDE
MIDDLE SCHOOL
APN 024-261-046

(N) 10' PEDESTRIAN PATH
TO MIDDLE SCHOOL

GREENFIELD
HIGH SCHOOL
APN 024-261-045

PARCEL A

(E) AG ROAD

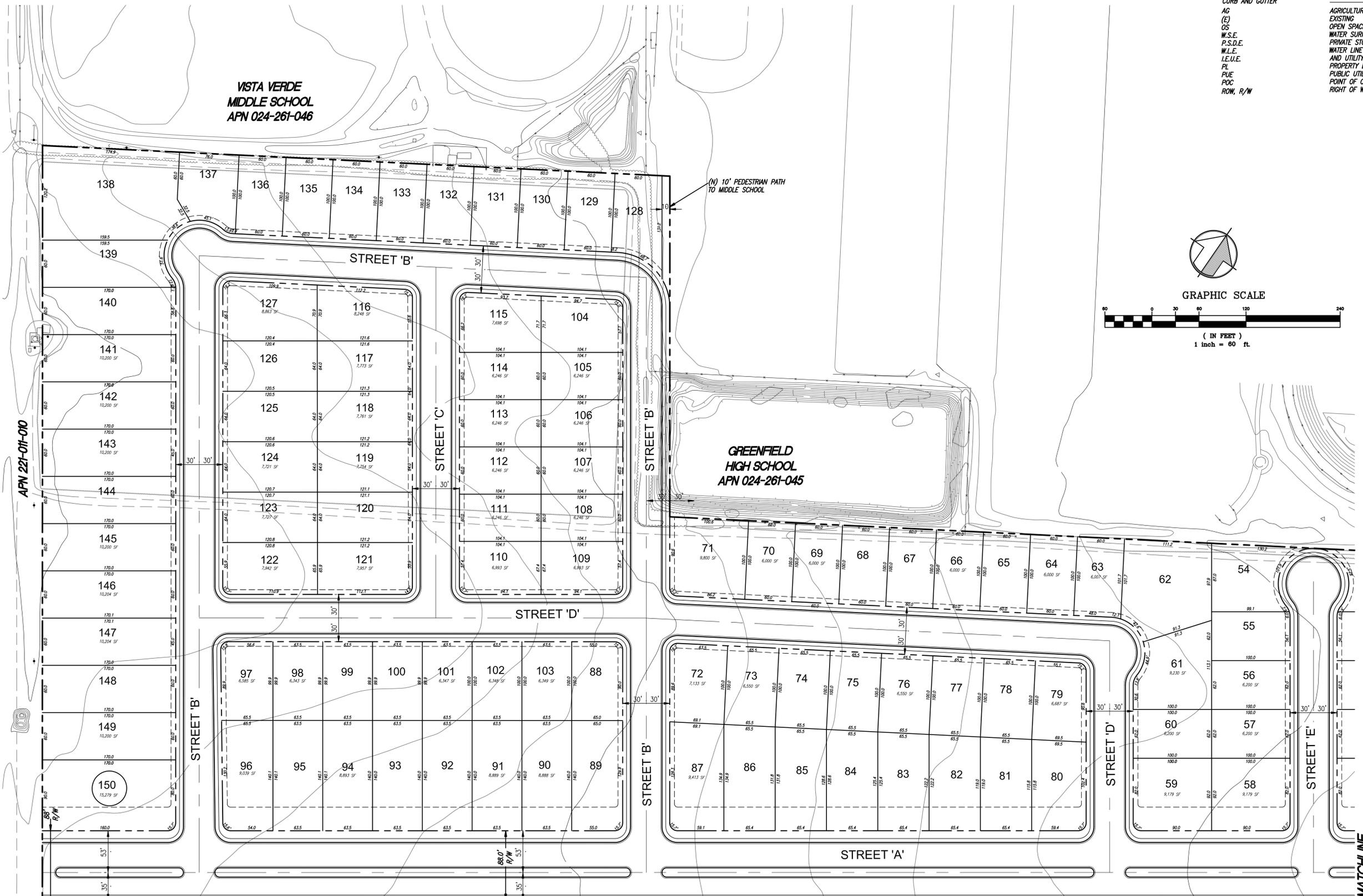
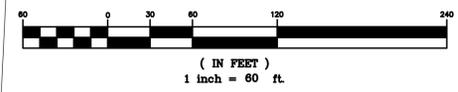
APN 221-01-072

LEGEND

- BOUNDARY LINE
- PROPERTY LINE/ROW
- CONTROL LINE/CENTER OF ROW
- LOT LINE
- EASEMENT LINE
- AGRICULTURE BUFFER
- EXISTING UTILITIES
- EXISTING SSMH/SDMH (as noted)
- CURB AND GUTTER
- AG
- (E)
- OS
- W.S.E.
- P.S.D.E.
- W.L.E.
- I.E.U.E.
- PL
- PUE
- POC
- ROW, R/W
- AGRICULTURAL LAND
- EXISTING
- OPEN SPACE
- WATER SURFACE ELEVATION
- PRIVATE STORM DRAIN EASEMENT
- WATER LINE EASEMENT INGRESS, EGRESS, AND UTILITY EASEMENT
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- POINT OF CONNECTION
- RIGHT OF WAY



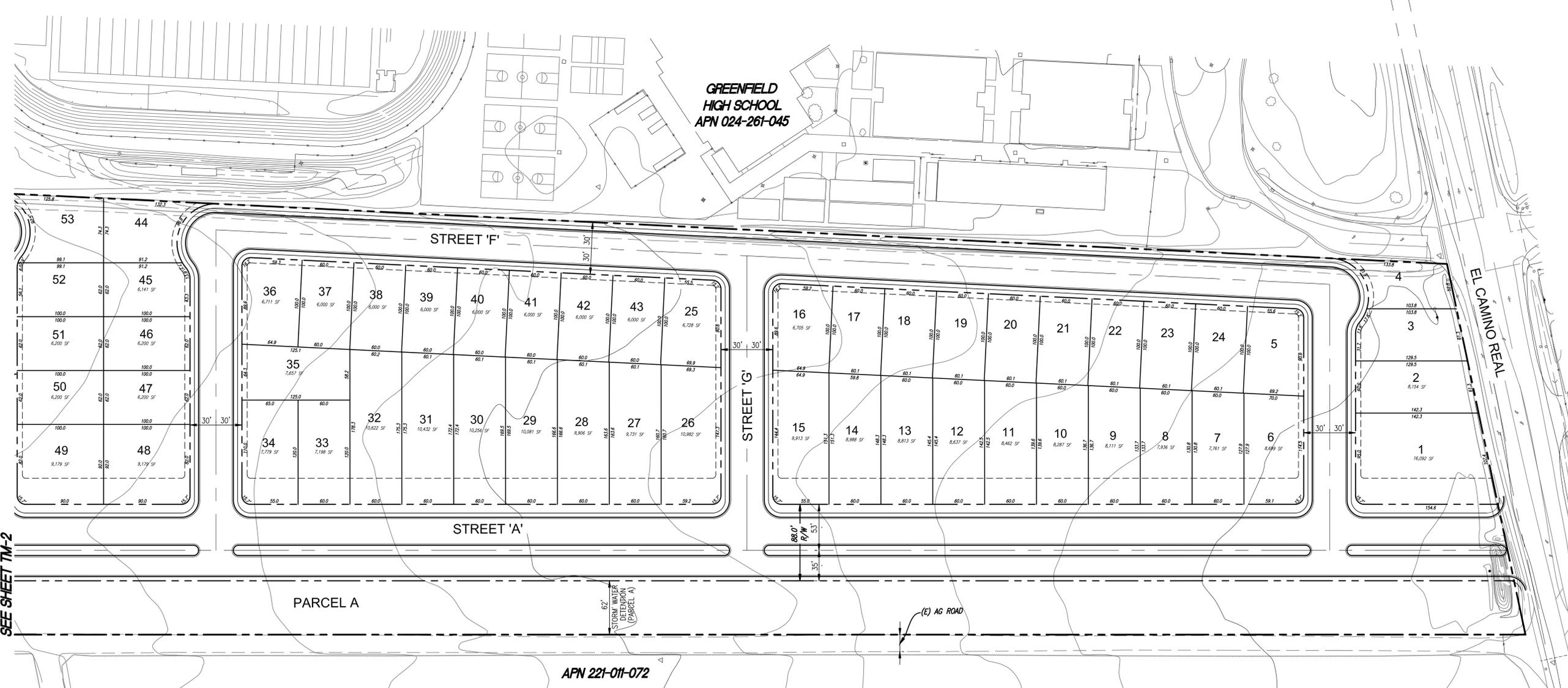
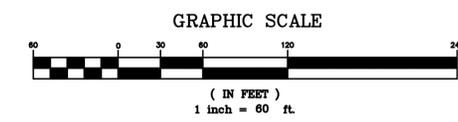
GRAPHIC SCALE



| | | | |
|---|-------------------|----------|-------------|
| DESIGNED BY: RS/RK | DATE: 10-21-16 | AS NOTED | DESCRIPTION |
| DRAWN BY: RK | DATE: 10-21-16 | AS NOTED | DESCRIPTION |
| CHECKED BY: LUG | DATE: 10-21-16 | AS NOTED | DESCRIPTION |
| SCALE: 10-21-16 | DATE: 10-21-16 | AS NOTED | DESCRIPTION |
| | | | |
| <p>225 Cannery Row, Suite H Monterey, CA 93940 Tel (831) 373-1333 Fax (831) 373-0733 www.cdengineers.com</p> | | | |
| <p>Creegan+D'Angelo INFRASTRUCTURE ENGINEERS</p> | | | |
| <p>SCHED VINEYARDS VESTING TENTATIVE MAP THE VINES DIMENSIONAL PLAN Monterey County California</p> | | | |
| <p>SHEET NUMBER TM-2 OF 3 SHEETS DRAWING NO. 716002</p> | | | |

LEGEND

| | |
|---|-----|
| BOUNDARY LINE | --- |
| PROPERTY LINE/ROW | --- |
| CONTROL LINE/CENTER OF ROW | --- |
| LOT LINE | --- |
| EASEMENT LINE | --- |
| AGRICULTURE BUFFER | --- |
| EXISTING UTILITIES | --- |
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| | | | |
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| DESIGNED BY: | RS/RK | DATE: | |
| DRAWN BY: | RK | REV. | |
| CHECKED BY: | LOG | SCH. | |
| DATE: | 10-21-16 | APPRD. | |
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| | | DESCRIPTION: | |

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VESTING TENTATIVE MAP
THE VINES
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 Monterey County California

Greenfield

SHEET NUMBER
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OF 3 SHEETS
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716002