



## Article 2.0

# LAND USE PLAN, DEVELOPMENT STANDARDS, AND DESIGN GUIDELINES

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Article 2.0 identifies the land use goals of the Specific Plan and describes the existing land uses and conditions. The land uses proposed for the Plan Area, although flexible in location, include a mix of uses and are principally visitor and community serving retail commercial and high-density residential. A selected conceptual land use plan is presented and development capacity and standards for the Plan Area are provided. Direction for conserving areas of open space, as well as for providing park and recreational land uses are also presented. It also establishes the standards that guide the aesthetic and visual design aspects of development, as well as open space and other amenities.





## 2.0

# LAND USE PLAN, DEVELOPMENT STANDARDS, AND DESIGN GUIDELINES

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Article 2.0 presents the potential distribution of commercial, residential, and park and open space uses within the Plan Area, a conceptual land use plan, the development capacity for the Plan Area, and development standards and design guidelines. The intent of the Specific Plan is to provide a general framework for future development within the Plan Area, while maintaining flexibility in terms of the precise distribution and mix of land uses.

## Section 2.1 Land Use Goals

The following land use goals have been established for the Specific Plan:

- Facilitate economic development within the community by creating a larger destination/shopping experience to enhance the retail shopping opportunities for locals and visitors, and by removing entitlement obstacles;
- Create, within the Plan Area, a multi-functional focal point for both shopping and community events and activities;

- Include a mix of commercial uses and high-density housing within the Plan Area, with creativity and flexibility in land use arrangement, density, product type, and design;
- Integrate the Plan Area, where feasible, with adjacent parts of the City; and
- Reinforce the City's and community's commitment to efficient use and protection of natural resources through the use of green building and sustainable site planning development practices.

## Section 2.2 Existing Land Uses and Conditions

### Context and Setting

The Plan Area is bordered by U.S. Highway 101 to the west, single-family residential development to the south, agricultural fields to the north, and rural residential/agriculture fields to the east. The area to the west of U.S. Highway 101 is developed with residences, a shopping center, and a school. [Figure 1, Plan Area Vicinity](#), presents the Plan Area location in



context to the City of Greenfield and U.S. Highway 101; and [Figure 2, Aerial Photograph](#), presents an aerial view of the Plan Area, existing structures and vegetation within the Plan Area, and the surrounding land uses.



## Plan Area Land Uses and Conditions

The Plan Area is level and is currently used for agricultural row crop production. In addition, two single-family residences accompanied by various ancillary structures used for farming practices are located within the Plan Area. The City owns a neighborhood park site at the southeastern corner of the Plan Area, but the park is not yet constructed. A storm water detention basin has been constructed and is also located near the southeastern corner of the Plan Area, along 3rd Street.

The Plan Area consists of nine parcels, totaling approximately 62.6 acres, and is illustrated in [Figure 3, Parcel Map](#), and further described in [Table 1, Assessors Parcel Numbers](#).

The Plan Area is classified as Prime Farmlands by the state’s Important Farmlands mapping program.

**Table 1 Assessors Parcel Numbers**

	APN	Acres
1	109-113-003	9.26
2	109-113-004	9.46
3	109-113-005	3.40
4	109-114-001	1.64
5	109-114-002	9.35
6	109-114-003	9.26
7	109-114-004	9.40
8	109-114-005	4.85
9	109-114-006	5.97
<b>Total</b>		<b>62.59</b>

*Source:* EMC Planning Group, 2012



Source: Google Earth 2011, ESRI 2010



Figure 1  
**Plan Area Vicinity**  
 Walnut Avenue Specific Plan



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- - - Plan Area Boundary     
  City Limits     
 ◆ Existing Structure in Plan Area     
 ● Existing Vegetation



Source: Google Earth 2012, RJA 2012

Figure 2

# Aerial Photograph

Walnut Avenue Specific Plan





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- - - Plan Area Boundary   
  City Limits   
  Parcel Line   
  Right-of-Way   
  Future Right-of-Way



Source: Google Earth 2012, RJA 2012, Monterey County GIS 2012

Figure 3  
Parcel Map  
Walnut Avenue Specific Plan





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The Greenfield General Plan Safety Element indicates that there are no geological or soils hazards of concern within the Plan Area. Trees within the Plan Area include landscape trees associated with the two houses and a row of trees along the western edge of the Plan Area north of Walnut Avenue.

## Section 2.3 Conceptual Land Use Framework

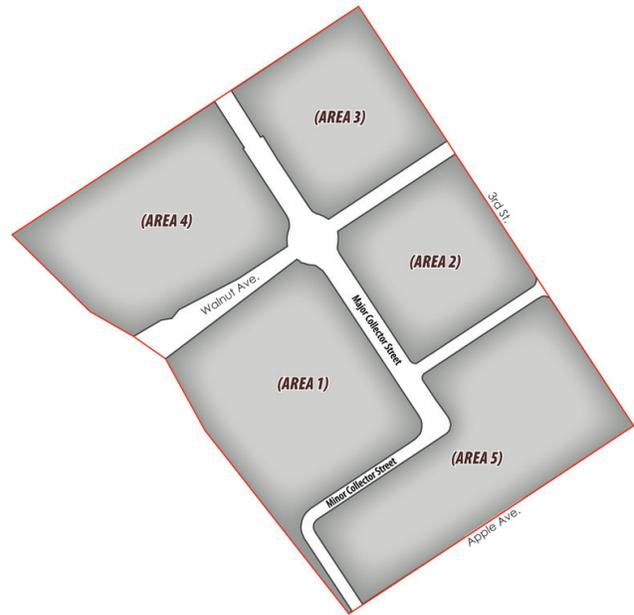
### Conceptual Land Use Plan

Preliminary conceptual land use plans serve as examples of how the Plan Area could be developed and phased. A selected conceptual plan is illustrated in Figure 4, *Conceptual Land Use Plan*, and was created as one of five alternative illustrative land use plan concepts. The other four alternative land use plan concepts are presented in Appendix B, *Conceptual Land Use Plan Alternatives 1-4*. These alternatives are intended as illustrative examples only. The final land use plan program will be determined by subsequent developer design and entitlements approved by the City, in accordance with the Specific Plan and all other applicable standards and requirements. See the development standards and design standards later in this article and Article 5.0, *Plan Implementation*.

The Plan Area is divided into five areas for purposes of reference within the Specific Plan. Areas 1 and 2 are located south of Walnut Avenue, Areas 3 and 4 are located north of Walnut Avenue, and Area 5 is located north of Apple Avenue.

### Land Use Plan Development Capacity

The Plan Area is limited to a maximum build-out of 445,000 square feet of commercial uses and 220



high-density residential dwelling units as conceptually illustrated on Figure 4, *Conceptual Land Use Plan*. Table 2, *Conceptual Land Use Development Capacity by Area*, shows how the land within the Plan Area translates to development capacity within each of the five areas (Areas 1-5), based on the *Conceptual Land Use Plan*.

Table 3, *Conceptual Land Use Summary*, provides a summary of the maximum build-out of the Plan Area allowed by the Specific Plan, again using the *Conceptual Land Use Plan* for illustrative purposes. Table 3 also provides estimated areas of various development components, such as rights-of-way and commercial loading areas.

## Section 2.4 Land Uses

The Specific Plan is intended to guide development of a variety of visitor and community serving commercial uses, high-density residential development, and areas of recreation and open space.

Table 4, *Land Uses*, provides a summary of the land uses for the Plan Area. The primary land use



**Table 2 Conceptual Land Use Development Capacity by Area**

Area	Land Use	Acres (gross) *	Typical Density (gross)**	Development Capacity ***	Total
Area 1	<b>Commercial</b>	15.79	0.21 FAR	145,000 sf	<b>46.72 Ac</b>
Area 2		8.82	0.21 FAR	80,000 sf	
Area 3		9.26	0.22 FAR	90,000 sf	
Area 4		12.85	0.23 FAR	130,000 sf	
				<b>445,000 sf</b>	
Area 5	<b>Residential</b>	7.54	21 du/Ac	220 du	<b>10.48 Ac</b>
	Right-of-Way	1.86			
	Landscaping	1.08			
	<b>Recreation and Open Space</b>				<b>5.39 Ac</b>
	City-owned Neighborhood Park site (Public)	3.0			
City-owned Storm Water Detention Area	0.5				
Park Amenity/Open Space	1.62				
Plaza	0.27				
		<b>62.59</b>			<b>62.59 Ac</b>

*Source:* EMC Planning Group, 2012

*Note:* \* Includes Right-of-Way, Landscaping, Parking, Service/Loading, Setback-building (curb/walk), and Plaza areas within Areas 1-4.

\*\* FAR is calculated within each development area; however, if some areas are developed below the maximum FAR, other areas may be developed with a higher FAR. The total development capacity serves as the ultimate limit on density.

\*\*\*Commercial development is limited by U.S. Highway 101 access capacity, and cannot reach these levels until full interchange improvements are completed.

planned for the Plan Area is Highway Commercial. The highway commercial land use is expected to be focused in the area near the U.S. Highway 101/Walnut Avenue interchange. Additional land uses located within the Plan Area include High-Density Residential and Recreation and Open Space south of Walnut Avenue. Land uses are subject to the development standards and design

guidelines included herein, and identified as the Walnut Avenue Specific Plan zoning and development standards.

The conceptual land use framework is identified in Section 2.2, and [Figure 4, Conceptual Land Use Plan](#), which illustrates a conceptual land use plan for the Plan Area. The Conceptual Land Use Plan



- Plan Area Boundary
- Commercial (Highway)
- Parking
- Service/Loading
- Residential (High-Density)
- Landscaping
- Street Tree
- Storm Water Detention
- Neighborhood Park\*
- Community Amenity/Open Space
- Plaza & Pedestrian Connections
- Plaza Opportunity Site



Source: EMC Planning Group 2012  
 \*Note: Neighborhood Park owned by the City and to be developed by the City with Proposition 84 Grant funds

Figure 4

# Conceptual Land Use Plan

## Walnut Avenue Specific Plan





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**Table 3 Conceptual Land Use Summary**

	<b>Area 1</b> 15.79 Ac 687,930 sf	<b>Area 2</b> 8.82 Ac 384,310 sf	<b>Area 3</b> 9.26 Ac 403,480 sf	<b>Area 4</b> 12.85 Ac 560,010 sf	<b>Area 5</b> 15.87 Ac 691,300 sf	<b>Total</b>
Right-of-Way	155,230 sf	61,555 sf	42,025 sf	108,635 sf	80,830 sf	448,275 sf
Highway Commercial (Retail)	145,000 sf	80,000 sf	90,000 sf	130,000 sf	n/a	445,000 sf
High-Density Residential (dwelling units)	n/a	n/a	n/a	n/a	328,295 sf 220*	328,295 sf 220*
Landscaping Net (%)	62,540 sf 12%	48,000 sf 15%	36,880 sf 10%	45,075 sf 10%	47,240 sf 10%	239,735 sf 11% (average)
Storm Water Detention	n/a	n/a	n/a	n/a	21,880 sf	21,880 sf
Neighborhood Park (Public)**	n/a	n/a	n/a	n/a	130,720 sf	130,720 sf
Park Amenity/ Open Space	n/a	n/a	n/a	n/a	70,660 sf	70,660 sf
Parking Spaces (based on 325 sf) Ratio (%)	231,840 sf 713 (4.9)	129,810 sf 399 (5.0)	156,210 sf 480 (5.3)	202,120 sf 622 (4.8)	n/a	719,980 sf 2,214 5.0 (average)
Service/ Loading	46,960 sf	29,045 sf	30,425 sf	28,845 sf	n/a	135,275 sf
Setback-building (curb/walk)	27,600 sf	19,200 sf	26,200 sf	27,085 sf	n/a	100,085 sf
Plaza	18,760 sf	16,700 sf	21,740 sf	18,250 sf	11,670 sf	87,120 sf
<b>FAR (Gross)</b>	<b>0.21</b>	<b>0.21</b>	<b>0.22</b>	<b>0.23</b>	<b>n/a</b>	<b>0.22 (average)</b>
<b>FAR (Net)</b>	<b>0.27</b>	<b>0.25</b>	<b>0.25</b>	<b>0.29</b>	<b>n/a</b>	<b>0.27 (average)</b>

*Source:* EMC Planning Group, 2012

*Notes:* \* Residential dwelling units are based on 21 du per gross area of 456,365 sf (includes Right-of-Way and Landscaping) in Area 5.

\*\* Neighborhood Park owned by the City and to be developed by the City with Proposition 84 grant funds.



Table 4 Land Uses

Land Use	Conceptual Land Use Plan (Gross Acres)	Potential Range (Gross Acres)
Highway Commercial	46.7	30 - 50
High-Density Residential	10.5	10 - 22
Recreation and Open Space*	5.4	5 - 10
<b>Total Acreage</b>	<b>62.6</b>	

Source: EMC Planning Group, 2012

Note: \*Includes existing City owned Neighborhood Park site, Storm Water Detention, Park Amenity/Open Space area(s), and Plaza area(s) within Area 5.



conveys the basic concept of commercial land uses along Walnut Avenue and high density residential uses adjacent to Apple Avenue, but is meant to allow for flexibility in how these are arranged relative to each other within the Plan Area. The Specific Plan allows development of commercial and high-density residential uses in accordance with market demand and the Walnut Avenue Specific Plan zoning and development standards. Likewise, the Specific Plan allows for development of mixed uses within the prescribed commercial square footage and residential unit limits.

### Highway Commercial

The most prevalent type of land use within the Plan Area is Highway Commercial, totaling approximately 46.7 acres on the Conceptual Land Use Plan. Approximately 22.1 acres of Highway Commercial are designated north of Walnut Avenue in the northern portion of the Plan Area, and approximately 24.6 acres are designated south of Walnut Avenue in the southern portion of the Plan Area. This distribution and total square footage of commercial uses is flexible, but for marketing reasons, is expected to be focused on the areas along Walnut Avenue. The commercial land use development is intended, based on the 2010 Greenfield Walnut Avenue Specific Plan Market Evaluation, to accommodate a minimum of 145,000 square feet and up to 445,000 square feet of commercial. Build-out of commercial development could be constrained by the limited capacity of the U.S. Highway 101/Walnut Avenue interchange ramps. Interim and long-term improvements to the interchange are planned to remove capacity constraints as described in Article 3.0, Circulation Plan.

The Highway Commercial development is intended to accommodate small to large-scale retail development, including neighborhood grocery, drug, hardware, service/gas station(s), restaurant(s), motel(s)/



hotel(s), and entertainment venue(s). The areas within the Plan Area that are conceptually designated as highway commercial allow an array of retail opportunities to serve the needs of the community and Salinas Valley region. The development of big box retail is targeted south of Walnut Avenue near the U.S. Highway 101 interchange. Commercial building intensities should be determined by zoning and development standards for setback, landscaping, height, parking and other requirements, as identified within this Specific Plan. Commercial development should be appropriately sized in order to provide for sufficient landscaping and entry features. The conceptual land use plan illustrates the general locations of building envelopes. There are

several concepts that represent flexible examples of land use configurations included in Appendix B, Conceptual Land Use Plan Alternatives 1-4.

### High-Density Residential

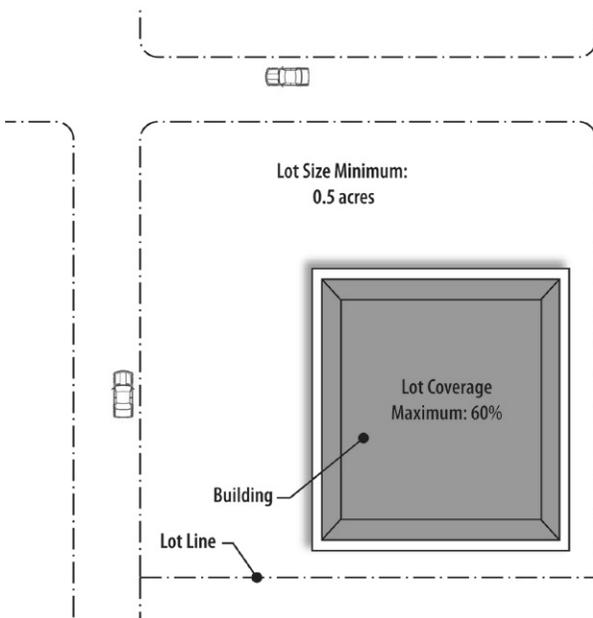
High-density residential development identified in the Conceptual Land Use Plan and Plan



Alternatives is targeted for an area within the Plan Area south of Walnut Avenue and adjacent to the existing single-family residential development on Apple Avenue. Although this is the target area for high-density residential development during plan-making, there is flexibility in the Specific Plan to allow high-density housing mixed with the commercial uses.



The approximately 10.5 acre area shown as High-Density Residential is intended for attached multi-family product, but could also be developed with small lot single family units, and would contain up to 220 dwelling units and range in density from 10 to 21 units per acre. The Specific Plan assumes development capacity at the highest end of this density range.





High-density residential development in this location will address a community need for condominium, townhouse, and apartment product, and create a buffer between existing single-family residential and projected commercial development. Residential development shall be sited and designed to be consistent with the design guidelines included herein. Pedestrian linkages, bike lanes/trails, entry features, landscaping, and the existing City owned park site are intended to characterize the high-density residential area.

### Mixed Use

The Specific Plan allows for development of mixed uses within the total allowable limits for commercial square footage and residential units. Integrating commercial and residential uses in close proximity on the same development parcel, or in the same building, provides an opportunity for a vibrant neighborhood or neighborhood focal point. Most uses allowed in Highway Commercial and High Density Residential areas are allowed in Mixed Use areas. The Mixed Use development standards provide a means of calculating density for residential and commercial uses within mixed use areas.

### Recreation and Open Space

The Specific Plan provides for diverse recreational and open space areas that will be available to all residents in the community. Provisions for adding recreational resources ensure that implementation of the Specific Plan expands on the overall theme of



approved development as a multi-functional focal point for both shopping and community events and activities. Recreation and open space resources provided in the Plan Area include a public neighborhood park, a park amenity/open space area, and a plaza. The neighborhood park will be located on a site already owned by the City for that purpose, but the location of the other open space features is flexible. These land uses are described in further detail below.

### Neighborhood Park

The City owns a 3.0-acre public neighborhood park site in the southeast corner of the Plan Area, at Apple Avenue and 3rd Street. The City received California Proposition 84 funding to purchase the site and develop a park. A preliminary park design layout was prepared in support of the Proposition 84 funding application.



The layout is illustrated in [Figure 5, Neighborhood Park Conceptual Plan](#). The conceptual plan improvements include a tennis court, basketball court, play area, turf play area, gazebo, restroom, water play feature, landscaping, and other features. It is likely that the types of improvements proposed in Figure 5 will be retained; however, the organization of improvements is flexible, and is under the control of the City. In tandem with the park amenity/open space area (if ultimately sited adjacent to the neighborhood park), the park would create a complimentary, expanded community destination that would draw locals and visitors alike to the Plan Area and enhance the experience of shoppers and residents.

### Park Amenity/Open Space

A 1.6-acre park amenity/open space opportunity site is included in the Plan Area. The park amenity/



Source: Bellinger Foster Steinmetz 2011  
 \*Note: Neighborhood Park owned by the City and to be developed by the City with Proposition 84 Grant funds

Figure 5  
 Neighborhood Park Conceptual Plan  
 Walnut Avenue Specific Plan





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open space area is intended to create a linkage from the residential neighborhoods to the commercial area, provide a focal point for community events and activities, and to enhance the retail shopping experience for locals and visitors. The linkage from both the residential neighborhoods to the commercial areas, and from the commercial areas to the amenity area could provide the opportunity to create the focal point for community events and, therefore, enhance the shopping experience. These functions are designed to promote the Plan Area as a community and regional destination.



The park amenity/open space area is intended to provide opportunities for community members, organizations, agencies, and other local or regional interests to stage events that promote community interaction. Examples of such events could include a farmer's market/community market, festivals, fiestas, theater and music events, club and community organization activities, local or regional sporting events, such as bike or running races, etc. To enhance the shopping experience of local residents and visitors from the region, the park amenity/open space area would allow integration of passive and



active play/recreation, entertainment, and relaxation activities into their visit. These attractions are intended to broaden the ability and desire of shoppers to extend their visit to the Plan Area.

The park amenity/open space area is to be improved with facilities that promote the community functions described above and designed to integrate those functions with commercial uses built in the Plan Area. Play area/play structures; open turf areas for active recreation, movement and event staging; landscaping and buffering from residential uses; furniture, lighting and pavement/pedestrian access to provide design integration with the remainder of uses in the Plan Area; picnic tables; a gazebo/performance stage; a public restroom; and the utilities needed to support such improvements are representative of the types of facilities that shall be provided. Parking facilities are to be incorporated into the park amenity/open space plan to ensure that direct access is provided for the community and event support/delivery vehicles. The

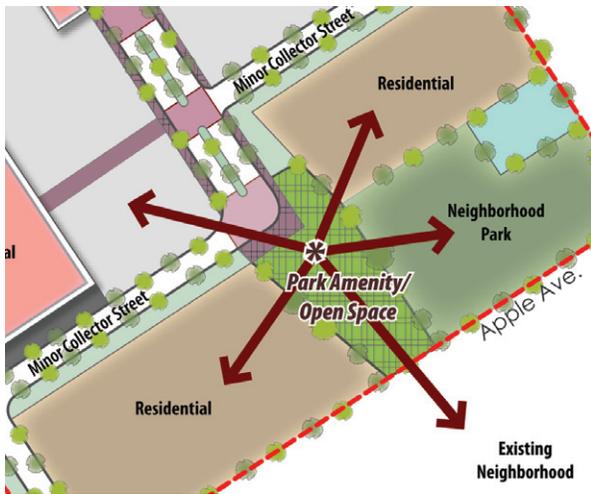




types of facilities to be provided may vary based on whether or not the park amenity/open space area is developed adjacent to the public neighborhood park as described in the above section. If so, the park amenity/open space area improvements shall be adjusted to complement those proposed for the neighborhood park, but in no case may park amenity/open space area improvements be eliminated in-lieu of improvements made at the neighborhood park.

A park amenity/open space area improvement plan shall be prepared by the master developer or responsible individual developer for review and approval by the City. Improvements to the park amenity/open space area must be completed prior to build-out of the first 100,000 square feet of commercial development within the Plan Area. Individual commercial developers shall pay into a proportional fair share contribution/reimbursement for the park amenity/open space improvements.

The location of the park amenity/open space area is not fixed. The park amenity/open space area is placed by design at the south end of the Plan Area, as shown in Figure 4, Conceptual Land Use Plan, to provide a link to the existing neighborhood, the neighborhood park, and the commercial uses and main entry off of Walnut Avenue. This location was influenced by several factors including:



1) potential for complementary design/integration with the neighborhood park to create a larger destination/shopping experience enhancement opportunity that includes pedestrian linkages to existing neighborhoods to the south and east of the Plan Area; 2) availability of a view corridor from Walnut Avenue to the southeast towards the park amenity/open space area that would function to draw visitors into the Plan Area and the park amenity/open space area; 3) ability to serve as a visual amenity/visual draw for vehicles traveling south on the Plan Area backbone road; and 4) to help provide a transition between Plan Area commercial uses and existing single-family homes south of Apple Avenue. The park amenity/open space site may be relocated as deemed appropriate by the master developer or by an individual developer provided that its function, as described above, is substantially maintained and facilities needed to support that function are provided. The size of the park amenity/open space area may be greater than 1.6 acres, but should not be less than 1.0 acre, regardless of its location within the Plan Area.

### Public Plazas and Courtyards

A public plaza opportunity is identified in each of the five areas within the Plan Area. The public plaza is a concept to be explored in the development site design process as a community amenity to serve retailers, or as a gathering place for planned or passive informal activities. The public plazas are envisioned as small (approximately 0.25 to 0.5 acre sites) with improvements. Courtyards are included in the Plan Area within visitor and community serving retail commercial uses to provide gathering places, outdoor dining, and serve as an attractive focal point. Plaza and pedestrian





connections are features of the streetscape that can provide access to the public plazas and courtyards, including the park amenity/open space area and public neighborhood park.

## Section 2.5 Objectives, Policies, and Implementation Measures

The following land use objectives, policies, and implementation actions shall guide all development within the Plan Area. Policies and implementation measures guide future development while development standards regulate the developments' form and design. Article 5.0, Plan Implementation, addresses the integration of these goals, policies and implementation measures, and the application of other federal, state and local standards and requirements, on Plan Area development. Article 5.0 also provides guidance on phasing, financing and long-term maintenance of Plan Area related improvements.

### Land Use Objectives and Policies

#### Objective LU-1: Attainment of existing and projected needs for commercial development.

**Policy LU-1.1** Assess and accommodate the need for commercial uses within the Plan Area in context of existing and planned commercial uses within the City and region.

#### *Implementation Measures:*

1. Update the market study, as necessary, to identify the quantity and types of suitable commercial development within the Plan Area.

2. Design commercial areas to accommodate the types of commercial development forecasted to be in demand in the City and region.
3. Utilize information from the market study to focus marketing efforts for the Plan Area.

#### Objective LU-2: A regional shopping destination within the Plan Area.

**Policy LU-2.1.** Establish a distinctive design and character for development within the Plan Area.

#### *Implementation Measures:*

1. Implement the design guidelines contained herein to achieve a high quality and distinctive design.
2. Require consistent architectural design style within the Plan Area.
3. Focus on quality of design and attention to design concepts when reviewing development plans for consistency with the design guidelines.
4. Establish a consistent style for signage, landscaping, and art within the Plan Area.





**Policy LU-2.2.** Provide a variety of commercial building spaces suitable for the variety of allowed commercial land uses.

**Implementation Measures:**

1. Provide space for two or three anchor stores or other magnet use(s) within each commercial area.
2. Secure anchor stores or other magnet uses with a regional drawing potential.
3. Locate anchor store/magnet spaces with good visibility from U.S. Highway 101 and/or Walnut Avenue.
4. Provide a variety of other types of store space creating opportunities for a range of retailing, services, and entertainment uses.

**Objective LU-3: Reduced entitlement processing burdens and obstacles.**

**Policy LU-3.1.** Commercial and residential uses may be located at any location within the Plan Area, without the need for a zone change.

**Implementation Measures:**

1. Treat the Plan Area as a Planned Development (PD) in terms of locating allowed land uses, to maximize land use and design flexibility.
2. Utilize Specific Plan criteria for determining compatibility of adjacent land uses.

**Policy LU-3.2.** Minimize the need for conditional use permits.

**Implementation Measures:**

1. Classify uses as permitted uses to the greatest extent possible.

2. Provide clear criteria for acceptability of conditionally permitted uses.

**Objective LU-4: A regional shopping destination experience created by a community space focal point and by integrated commercial and residential uses to achieve a cohesive and walkable community.**

**Policy LU-4.1.** Provide a focal point for community events and activities by incorporating public park amenity/open space and plaza areas as “community space” into the design of the Plan Area.



**Implementation Measures:**

1. Reserve space in a strategically-located area for development of a community space. [LEED — NPD Credit 9: Access to Civic and Public Space]
2. Locate the community space such that access and parking serving adjacent uses can be utilized for events and activities, to minimize the need for additional infrastructure.
3. Identify types of community events and activities appropriate to the setting and the adjacent uses, and design and provide facilities for the community space to accommodate those events and activities.

**Policy LU-4.2.** Promote street and community space activity within the Plan Area.

**Implementation Measures:**

1. Include opportunities for outdoor seating areas, and consider seating areas to be shared by several eating establishments.



2. Incorporate gathering spaces throughout the commercial parts of the Plan Area. [LEED — NPD Credit 9: Access to Civic and Public Space]
3. Include art and/or landscaping to enhance the pedestrian environment.
4. Provide play opportunities for children.
5. Include opportunities for exhibits or performances.

**Policy LU-4.3.** Encourage seamless transitions, proximity, and integration of commercial and residential land uses, while protecting the quality of the residential environment from excessive noise, traffic, or other intrusions.



**Implementation Measures:**

1. Allow creative arrangements that place commercial and residential development in proximity to one another.
2. Review abutting commercial and residential uses in terms of potential for adverse effects on the residential uses to determine compatibility.



3. Require convenient pedestrian connections between commercial and residential uses.

**Policy LU-4.4.** Arrange commercial land uses to facilitate walking.

**Implementation Measures:**

1. Cluster commercial uses to reduce walking distances.
2. Arrange the site so that buildings (rather than parking lots) front on 3rd Street.
3. Provide pedestrian routes or paths directly connecting all commercial uses, and parking lots for commercial uses.

**Objective LU-5: A coordinated system of parks, recreation, and amenity areas to meet the needs of the Plan Area visitors and residents.**

**Policy LU-5.1.** Provide a neighborhood park and a community serving amenity area with appropriate facilities within the Plan Area.

**Implementation Measures:**

1. The City will design and construct a 3.0-acre neighborhood park on land it has purchased in the southeast corner of the Plan Area (adjacent to 3rd Street and Apple Avenue). It is intended





- that the park design, construction, and maintenance will be financed by the City. However, the City is encouraged to work with the adjacent landowners or master developer to coordinate design, financing, and construction of this park with adjacent uses.
2. The master developer/individual project developers shall provide and dedicate the land for and construct improvements (at no cost to the City) for a community amenity area within the boundaries of the Plan Area. The amenity area shall include a plaza and/or amphitheatre; open turf areas for active recreation, movement and event staging; play area/play structures; landscaping; parking; lighting and suitable park furniture. The amenity area shall be linked to the remainder of the Plan Area through pavement/pedestrian access design features.

**Objective LU-6: A flexible mix and arrangement of uses within established development capacities, including commercial, residential, and recreation and open space uses and amenities to meet the needs of residents and visitors.**

**Policy LU-6.1.** Provide flexibility in the location of all land uses, provided the resulting land use arrangement is consistent with the other goals and objectives of the Specific Plan.

**Implementation Measures:**

1. Treat the land use map as conceptual in terms of arrangement of land uses.
2. Review land uses that differ in arrangement from the land use map to ensure consistency with the goals and objectives of the Specific Plan.

3. Prioritize sites fronting on Walnut Avenue for anchor stores, other stores with regional drawing potential, restaurants, and entertainment venues.
4. Locate some, but not necessarily all, high-density residential uses adjacent to the designated neighborhood park site and existing residences along Apple Avenue, in order to provide a transition to Plan Area commercial uses.

**Policy LU-6.2.** Provide for a mix of land uses as prescribed within the Specific Plan and ensure that development does not exceed design capacities for residential and commercial development.

**Implementation Measures:**

1. Ensure that land within the Plan Area is reserved for a mix of commercial, residential, and recreational/park/community amenity spaces. *[LEED — ND NPD Credit 10: Access to Recreation Facilities]*
2. Determine commercial density on a total square footage basis within the Plan Area, and allow up to 445,000 square feet at full build-out, with a maximum floor area ratio of 0.2 to 0.25.
3. Determine residential density on a gross acreage basis, and review residential development proposals to ensure a minimum density of 10 units per acre and a maximum density of 21 units per acre, with a maximum of 220 units. *[LEED — ND NPD Credit 2: Compact Development]*





- 4. If the market demand changes over time, the mix of uses and total capacities of the Specific Plan may be revised with the support of an updated market evaluation, an amendment to the Specific Plan, if warranted, and an updated CEQA review.
- 5. Limit development on an interim basis to that accommodated by the current access capacity of the U.S. Highway 101/Walnut Avenue interchange. With interim interchange improvements completed, the development capacity within the Plan Area is 195,000 square feet of commercial with no residential units, 165,000 square feet of commercial with 90 residential units, 135,000 square feet of commercial with 160 residential units, or equivalent.

**Policy LU-6.3.** Retail commercial opportunities shall be provided that are both visitor- and local-serving.

**Implementation Measure:**

- 1. Allow highway commercial uses that provide services for both visitors and residents, and prioritize the placement of services for residents in locations closest to residential development.

**Policy LU-6.4.** Recreational/park/community amenity space is intended to serve both commercial and residential uses.

**Implementation Measure:**

- 1. Provide recreational/park/community amenity spaces that serve both commercial and residential uses, and review the amenities planned in the designated spaces to ensure their location suitably serves the intended users. [LEED — ND NPD Credit 10: Access to Recreation Facilities]

**Objective LU-7: Appropriate transitions and connections between the edges of the Plan Area and nearby neighborhoods and uses.**

**Policy LU-7.1.** Buffer existing single-family uses south of Apple Avenue from commercial uses within the Plan Area

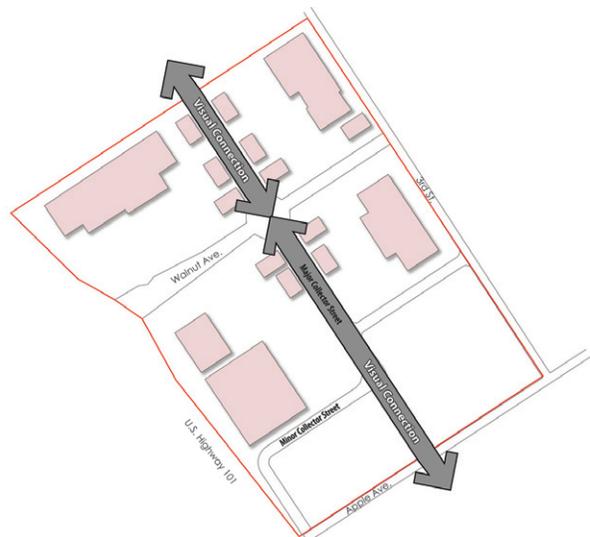
**Implementation Measures:**

- 1. Residential uses, as a transition, are encouraged adjacent to Apple Avenue within the Plan Area.
- 2. Adhere to set-backs established by the Specific Plan for residential and commercial development adjacent to Apple Avenue.
- 3. Design uses immediately adjacent to Apple Avenue to match the scale of development to the south.

**Policy LU-7.2.** Include pedestrian linkages to existing neighborhoods.

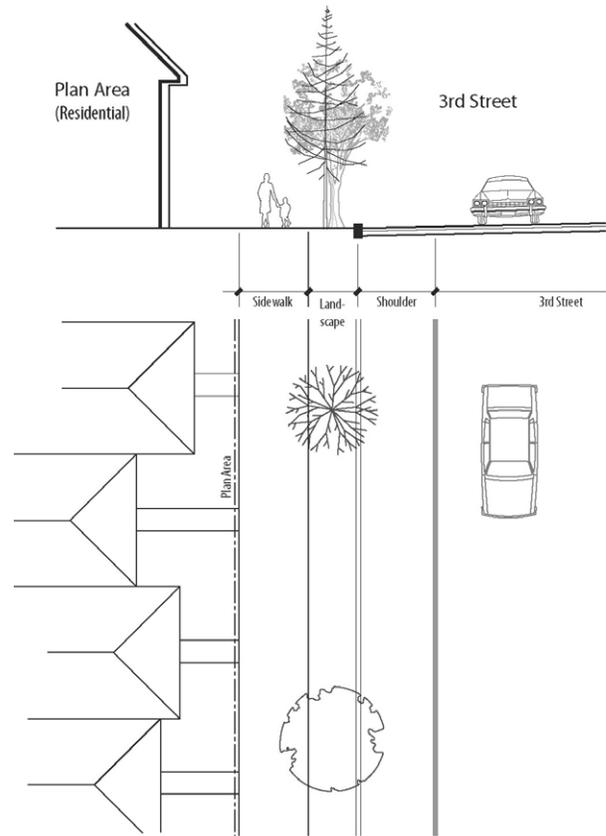
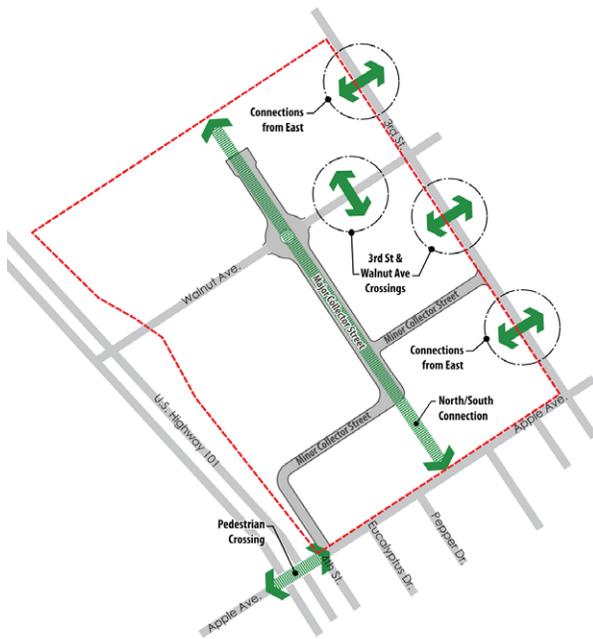
**Implementation Measures:**

- 1. Arrange land uses to provide a visual connection and a direct pathway northward from Apple Avenue to the commercial areas, both north and south of Walnut Avenue through the Plan Area.





2. Provide convenient pedestrian connections to the Plan Area from the east.
3. Design improvements to Walnut Avenue and 3rd Street to assist pedestrian crossings.



**Policy LU-7.3:** Design 3rd Street as an attractive connector to the Yanks Air Museum.

**Implementation Measures:**

1. Provide landscaped frontage areas along 3rd Street.
2. Include Plan Area entry signage for southbound travelers on 3rd Street at the northeast corner of the Plan Area.
3. Ensure building placement at the northeast corner of the Plan Area provides for an attractive view into the Plan Area from southbound 3rd Street.

**Objective LU-8: Visual compatibility with the community.**

**Policy LU-8.1.** Develop a project in the Plan Area with a mix of land uses that is visually attractive to the community and a focal point for residents and visitors.

**Implementation Measures:**

1. The master developer and/or individual project developers shall adhere to the design guidelines in this Specific Plan to ensure that the development is visually attractive when viewed from within the community, as well as from off-site public view locations including U.S. Highway 101.
2. The master developer and/or individual project developers shall design all lighting, including



street lighting, to minimize glare and casting of light to locations not intended for illumination. Lighting for residential and commercial areas, as well as for sidewalks and recreation areas, shall be consistent with development standards and design guidelines. Improvement plans shall be reviewed for consistency with this measure by the City Public Works Department prior to approval of any final map or commercial development plan.

**Objective LU-9: Minimal impacts to adjacent agricultural resources.**

**Policy LU-9.1.** Minimize conflicts and negative impacts resulting from development that occurs in close proximity to agricultural uses by incorporating temporary buffers between urban and agricultural uses.

**Implementation Measures:**

1. Create temporary buffers such as roadways, passive parks, open space, and trails between development within the Plan Area and adjacent existing agricultural uses along the northern and eastern borders of the Plan Area.
2. Development shall provide a temporary buffer, where appropriate and feasible, of at least 50 feet from agricultural uses.
3. Buffers shall be retained until development applications for the adjacent lands are filed with the City.

**Objective LU-10: Sustainable building and site development.**

**Policy LU-10.1.** Encourage developers to design development consistent with LEED or enhanced CalGreen standards.



**Implementation Measures:**

1. Encourage sustainability practices to be included in development plans.
2. Encourage developers and end users to establish a green image and emphasize sustainability as a part of advertising programs.
3. Divert a minimum of 25 percent of total waste materials taken off the construction site from landfills or incinerators. [LEED Homes MR-3]

**Policy LU-10.2.** Promote water conservation and water quality in project design.

**Implementation Measures:**

1. Implement design guidelines relating to water conservation and water quality.
2. Design storm drainage to incorporate low impact development approaches.
3. Encourage rainwater catchment and other approaches to water conservation.

**Policy LU-10.3.** Facilitate alternative energy sources and reduce energy use in buildings and landscapes.

**Implementation Measures:**

1. Encourage net-zero and low energy building designs.
2. Specify the use of natural lighting within buildings. Design facilities to minimize the need for artificial lighting. Provide ample windows; light towers; light wells; dormers; skylights; or other features to enhance natural lighting.
3. Use high-efficacy lighting technologies for buildings and landscapes.



4. Utilize solar photovoltaic electric, solar water heating, ground source space heating, passive solar, and other renewable energy approaches in project designs.
5. Design structures to facilitate passive solar heating during the winter, and use cool roofs and thermal window coverings to reduce solar heat gain during the summer.
6. The developer should make photovoltaic electrical systems and solar hot water available, or facilitate future use of these technologies. Applicable to residential units and commercial facilities, the master developer and/or individual project developer(s) shall pre-plumb/pre-wire at least one-third of facilities for solar power and shall offer solar power as an option on all facilities. *[LEED ND GIB Credit 10; Credit 11; Credit 12; Homes EA-10]*
7. Equip facilities with energy efficient water heaters and heat recovery drain systems.
8. Provide programmable thermostats for all space heating systems.
9. Use space heating systems with an Annual Fuel Use Efficiency (AFUE) of 95 percent or greater, seal all ducts, and insulate ducts in unconditioned spaces.
10. Design lots and structures to maximize rooftop solar energy output potential. Where feasible, roof pitches and roof orientation should be designed to maximize solar exposure to rooftop energy panels (minimum 300 square feet of unobstructed roof area facing within 30 degrees of south). *[LEED ND GIB Credit 10; Credit 11; Credit 12; Homes EA-10]*



11. For residential development, porches shall be placed only on the east, south, or west side of houses to provide shading in the summer, and to maximize northern light exposure to the interior of houses.
12. South and west-facing elevations shall be designed with roof overhangs that block summer sun from windows and allow penetration of winter sun.
13. For residential development, equip all garages/carports with a 240-volt 40-amp circuit suitable for electric vehicle charging. Commercial parking lots shall include electrical vehicle charging stations for a minimum of three (3) percent of the total vehicle parking capacity of the site. *[LEED ND SS Credit 4.3]*
14. Encourage use of non-motorized modes for transportation and transport to and within the Plan Area by providing appropriate facilities.
15. Provide communications wiring within all dwelling units to facilitate telecommuting.
16. For multi-family housing or commercial uses, the parking lot shall be shaded by either high albedo (reflective roofs), roofs with solar panels, or trees that provide a minimum of 50 percent shade within 10 years of planting.



17. Landscaping should include deciduous trees to shade south and west-facing walls in the summer and allow sunlight penetration in the winter.

**Objective LU-11: Minimal local and regional impacts to air quality.**

**Policy LU-11.1.** Reduce construction and operational air emissions consistent with Monterey Bay Unified Air Pollution Control District guidelines.

**Implementation Measures:**

1. Developers shall comply with all applicable control measures adopted by the Air District for achieving reduction in district-wide emissions. The measures shall be included in contractor work specifications and improvement plans for all individual project(s) proposed within the Plan Area. Improvement plans shall be subject to review of the City Public Works Department for this purpose prior to approval of the plans.
2. Prior to the start of construction, the project contractor shall prepare a construction dust mitigation plan. The plan shall specify the methods of dust control that will be utilized, demonstrate the availability of needed equipment and personnel, use reclaimed water for dust control, and identify a responsible individual who, if

needed, can authorize implementation of additional measures. The plan requirements shall be included on all construction documents and plans, where appropriate. The construction dust mitigation plan shall, at a minimum, include the following measures:

- Limit grading activity to a maximum of 2.2 acres daily. As more detailed construction information becomes available, emissions from grading activities could be reassessed to determine if the area of grading could be increased. Such an assessment would be completed using appropriate assumptions and mitigation measures.
- Water all active construction areas at least twice daily and more often during windy periods. Active construction areas adjacent to existing businesses should be kept damp at all times. If necessary, during windy periods, watering is to occur on all days of the week regardless of on-site activities.



- Cover soil or maintain at least two feet of freeboard on all hauling trucks.
- Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites.





- Sweep daily all on-site paved access roads, parking areas, and staging areas at construction sites.
  - Sweep adjacent off-site streets daily if visible soil material is deposited onto the roads.
  - Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
  - Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles.
  - Limit traffic speeds on unpaved roads to 15 miles per hour.
  - Replant vegetation in disturbed areas as quickly as possible.
  - Suspend excavation and grading activity when hourly-average winds exceed 15 miles per hour and visible dust clouds cannot be contained within the construction site.
3. The developer shall reduce Nitrogen Oxide (NOX) exhaust and particulate matter emissions by implementing one of the following measures prior to the start of construction:
- Provide a plan, acceptable by the Air District, demonstrating that the heavy-duty (> 50 horsepower) off-road vehicles and equipment to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet-average 20 percent NOX reduction and 45 percent particulate reduction compared to the most recent California Air Resources Board fleet average for the time of construction; or
  - Provide a plan, acceptable by the Air District, that all off-road construction vehicles/equipment greater than 50 horsepower that will be used on site for more than one week shall: 1) be manufactured during or after 1996, 2) shall meet the NOX emissions standard of 6.9 grams per brake horsepower hour, and 3) shall be equipped with diesel particulate matter filters.
4. The developer shall reduce Nitrogen Oxide (NOX) exhaust and particulate matter emissions by implementing the following measures prior to the start of construction:
- Contractors shall install temporary electrical service whenever possible to avoid the need for independently-powered equipment (e.g. compressors).
  - Signs at the construction site shall be clearly visible to advise that that diesel equipment standing idle for more than five minutes shall be turned off. This would include trucks waiting to deliver or receive soil, aggregate, or other bulk materials. Rotating drum concrete trucks may keep their engines running continuously if on-site and staged away from residential areas.
  - Properly tune and maintain equipment for low emissions.
  - Stage large diesel powered equipment at least 200 feet from any active land uses (e.g., residences).
- Policy LU-11.2.** Minimize impacts to indoor and outdoor air quality.



### **Implementation Measures:**

1. Require wood-burning stoves or fireplaces to exceed EPA emissions standards.
2. Minimize exposure of building occupants, indoor surfaces, and ventilation air distribution systems to tobacco smoke by prohibiting smoking in buildings (non-residential uses only) and public spaces and parks. Locate designated exterior smoking areas at least 25 feet away from entries. *[LEED ND IEQ Prerequisite 2]*

## **Section 2.6 Zoning and Development Standards**

Standards for development within the Plan Area are presented in this section. The development standards are applicable to residential, commercial, or mixed use development, and are collectively the Walnut Avenue Specific Plan zoning and development standards. No pre-set zoning boundaries are established within the Plan Area, as reinforced by policies LU-3.1 and LU-6.1. Development must be built to the standards herein; including adherence to the design guidelines presented in Section 2.7, and shall be consistent with the development limitations and other provisions of the Specific Plan.

### **Allowed Uses**

This section presents allowed and conditionally allowed uses for commercial and residential areas within the Plan Area. [Table 5, Allowed Uses](#), identifies which land uses are designated as permitted (P), permitted as an accessory use to a primary use (A), conditionally permitted (CUP), and not allowed (N).

### **Land Use Definitions**

Some terminology used in this section of the Specific Plan is intended to have particular meaning within the context of land use and development standards of the Specific Plan. The following definitions convey that meaning, and supplement, and in case of conflict, supersede, definitions in the Zoning Code.

**Accessory Use.** A use that is supplemental to and supportive of a principal use, such as office space, parking, or storage, and not intended to function as a separate use. Craft and small-scale food production uses are allowed as accessory to retail sales of the product, with a gross production floor area of up to 5,000 square feet, and no specific requirements for the retail floor area.

**Alcoholic Beverage Sale or Service.** Sale (off-sale/package) and/or service (on-sale/sampling) of alcoholic beverages. State licensing is required.

**Conditional Use.** A conditional use permit must be obtained through approval by the Planning Commission of City Council.

**Entertainment.** Live or recorded entertainment accessory to a commercial use or as part of an organized event.

**General Retail.** Stores selling multiple lines of merchandise.

**Manufacturing and Fabrication.** These uses include the manufacture of wood, metal, plastic, chemical, pharmaceutical, food, and other products from raw materials or components.

**Mixed Use.** Residential and commercial uses within the same building or the same parcel.



**Table 5 Allowed Uses**

Land Use	Highway Commercial	High-Density Residential	Mixed Use	Notes
<b><i>Retail, Service, and Office Listings</i></b>				
Adult-Related Business	N	N	N	See Zoning Code Section 17.70.
Alcoholic Beverage Sales	CUP	N	CUP	Alcohol sale or service requires CUP.
Ambulance Service	P	N	N	
Automated Teller Machines (ATMs)	P	N	P	
Banks and Financial Services	P	N	P	
Bars and Nightclubs	P	N	P	Alcohol sale or service requires CUP.
Broadcasting and Recording Studios	CUP	N	CUP	
Building Materials Stores and Yards	P	N	N	Minimum 500 feet from a residential use.
Business and Professional Offices	CUP	N	CUP	
Business Support Services	P	N	P	
Call Centers	P	N	P	Not fronting on Walnut Avenue.
Catering Company	P	N	P	
Drive-in and Drive-through Sales or Service	P	N	N	Minimum 500 feet from a residential use. See Zoning Code Section 17.78
Laundromat or Dry Cleaner	P	N	P	
Lodgings	P	N	P	See Zoning Code Section 17.73.
Kennels, Commercial	N	N	N	
Maintenance and Repair, Small Equipment	CUP	N	N	Not fronting on Walnut Avenue.
Maintenance and Repair, Large Equipment	N	N	N	
Medical Clinics, Offices, or Laboratories	CUP	N	CUP	
Medical Services – Assisted/Extended Care	CUP	N	CUP	
Medical Services – Hospitals	CUP	N	CUP	
Mortuaries and Funeral Homes	CUP	N	CUP	Not fronting on Walnut Avenue.
Mobile Uses	CUP	N	CUP	
Outdoor Seating/Dining	A	N	A	See Zoning Code Section 17.86
Outdoor Merchandise Display	A	N	A	See Zoning Code Section 17.86
Parking Facilities (not accessory)	CUP	N	CUP	Minimum 500 feet from a residential use. Not fronting on Walnut Avenue.
Personal Services	P	N	P	
Personal Services, Restricted	CUP	N	CUP	Minimum 500 feet from a residential use.
Photocopying and Mailing Service	P	N	P	
Recycling – Reverse Vending Machine	CUP	CUP	CUP	
Recycling – Small Collection Facility	CUP	N	CUP	Minimum 500 feet from a residential use. Not fronting on Walnut Avenue.
Recycling – Large Collection Facility	CUP	N	CUP	Minimum 500 feet from a residential



				use. Not fronting on Walnut Avenue.
Restaurants	P	N	P	Alcohol sale or service requires CUP.
Rentals - Household or Recreational Goods	P	N	P	Not fronting on Walnut Avenue.
Rentals – Construction Equipment	N	N	N	
Retail, General, specialty, or warehouse	P	N	P	See Zoning Code Section 17.74.
Second hand stores	CUP	N	CUP	
Spa and/or Retreat	P	N	P	
Storage – Personal Storage Facilities	CUP	N	CUP	Not fronting on Walnut Avenue.
Veterinary Facilities	CUP	N	CUP	Minimum 500 feet from a residential use.
Any building 3 stories in height	CUP	CUP	CUP	Requires fire protection measures
<b><i>Recreation, Education, &amp; Public Assembly Use Listings</i></b>				
Amphitheatre	A	A	A	As part of a park, playground, or similar.
Cemeteries, Mausoleums	N	N	N	
Civic Centers/Buildings	P	N	P	
Clubs, Lodges, and Meeting Halls	P	N	P	
Community Centers or Rooms	P	P	P	
Community Gardens	N	P	P	
Equestrian Facilities	N	N	N	
Entertainment	A	N	A	
Golf Courses/Country Clubs	N	N	N	
Indoor Amusement, Entertainment-Recreation Facilities	P	N	P	
Indoor Fitness, Sports-Recreation Facilities	P	A	P	
Libraries and Museums	P	P	P	
Miniature Golf Courses (Indoor & Outdoor)	CUP	N	CUP	
Outdoor Commercial Recreation	CUP	N	CUP	Minimum 500 feet from a residential use
Parks and Playgrounds	P	P	P	
Indoor Commercial Recreation	P	N	P	
Public Safety Facilities	P	N	P	
Research and Development Services	P	N	P	
Resource Protection and Restoration	P	P	P	
Resource-Related Recreation	N	N	N	
Recreational Vehicle Park/Campground	CUP	N	CUP	
Religious Institutions	CUP	N	CUP	
Schools – Public	CUP	N	CUP	
Studios (art, dance, cooking, etc.)	P	N	P	
Theaters and Auditoriums	P	N	P	
Any building 3 stories in height	CUP	CUP	CUP	Requires fire protection measures



<b><i>Automotive and Vehicle Use Listings</i></b>				
Auto, Vehicle, and Boat Sales	P	N	N	Minimum 500 feet from a residential use
Auto Parts Sales	P	N	N	
Auto and Vehicle Rentals	P	N	CUP	Not fronting on Walnut Avenue.
Auto and Vehicle Storage	N	N	N	
Vehicle Fueling Station	P	N	N	Minimum 500 feet from a residential use. See Zoning Code Section 17.72.
Vehicle Washing and Detailing	P	N	CUP	Minimum 500 feet from a residential use.
Vehicle Maintenance/Minor Repair	CUP	N	N	Minimum 500 feet from a residential use. See Zoning Code Section 17.72
Vehicle Major Repair/Body Work	N	N	N	
Any building 3 stories in height	CUP	CUP	CUP	Requires fire protection measures
<b><i>Industry, Manufacturing, and Processing Use Listings</i></b>				
Agricultural Products Processing	N	N	N	
Small scale Artisan/Craft Production	A	N	A	With retail sales of items manufactured on-site.
Auto Wrecking, Junkyard, Salvage Yard	N	N	N	
Storage Yards	N	N	N	
Small scale Food and Beverage Production, Wineries, Distilleries	A	N	A	With retail sales of items manufactured on-site. Alcohol sale or service requires CUP.
Fuel Storage and Distribution	N	N	N	
Commercial Scale Laundries	N	N	N	
Manufacturing and Fabrication	N	N	N	
Commercial Scale Printing and Publishing	N	N	N	
Recycling Processing Facilities	N	N	N	
Warehousing, Wholesaling, and Distribution	N	N	N	
Any building 3 stories in height	CUP	CUP	CUP	Requires fire protection measures
<b><i>Agriculture Use Listing</i></b>				
Animal Husbandry	N	N	N	Interim use only
Crop Production	N	N	N	Interim use only
Feed Lots, Chicken Farms, and Hog Farms	N	N	N	
<b><i>Utility, Transportation, and Communication Use Listings</i></b>				
Bus and Transit Shelters	P	P	P	
Heliports	N	N	N	
Park and Ride Facilities	P	CUP	CUP	Not fronting on Walnut Avenue.
Radio Frequency Transmission Facilities	CUP	N	N	Not fronting on Walnut Avenue.
Rail Lines and Utility Corridors	N	N	N	
Telecommunication Facilities	P	N	N	Not fronting on Walnut Avenue.
Transit Stations and Terminals	CUP	N	CUP	Integrated into overall design of shopping center



Utility Facilities	P	N	CUP	Not fronting on Walnut Avenue.
Utility Infrastructure	P	P	P	
<b><i>Residential Use Listings</i></b>				
Adult Day Care Facility	N	N	N	
Adult Day Care Home	N	P	P	
Caretaker Housing	CUP	P	P	
Child Day Care Facility	P	P	P	
Dwelling, Multi-Family	N	P	P	
Dwelling, Second Unit	N	P	P	
Dwelling, Single-Family	N	P	P	
Dwelling, Two Family	N	P	P	
Dwelling, any type, 3 stories in height	CUP	CUP	CUP	Requires fire protection measures
Employee Housing	CUP	P	P	
Emergency Shelter	N	N	N	
Family Day Care Home, Small	N	A	A	
Family Day Care Home, Large	N	N	N	
Group Residential	N	N	N	
Guest House	N	N	N	
Home Occupations	A	A	A	See Zoning Code Section 17.82
Live-Work Facilities	CUP	P	P	
Mobile Home/Manufactured Home	N	N	N	
Residential Care Home, Small	N	P	P	See Zoning Code Section 17.88
Residential Care Home, Large	N	N	N	See Zoning Code Section 17.88
Transitional Housing	N	P	P	

**Notes:**

P= Use Permitted; CUP = Conditional Use Permit Required; A = Accessory to a Principle Use; N = Not Permitted; Subject to restrictions as noted.

**Mobile Uses.** Food carts, mobile medical laboratories, and other uses utilizing vehicles or trailers as store fronts.

**Permitted Use.** A use that is permitted does not require a discretionary land use permit from the City. The permitted use may still require a building permit, business license, or regulatory agency clearance.

**Principle Use.** The primary or main use of a property.

**Small Scale Production.** Craft and small-scale food production uses up to a maximum gross floor

area of 5,000 square feet. Craft and small-scale food production can be accessory to retail sales of the product.

**Specialty Retail.** Stores selling limited lines of merchandise, or merchandise of a unique type; this category excludes any specific retail type listed separately.

**Warehouse Retail.** Stores that emphasize the packaging and sale of products in large quantities or volumes, some at discounted prices. Sites and buildings are usually large and industrial in character. Patrons may be required to pay membership fees.



## Commercial Use Development Standards

This section presents the development standards applicable to highway commercial uses within the Plan Area.

1. **Intent for Highway Commercial Uses.** Highway Commercial development is expected to be grouped near the U.S. Highway 101/Walnut Avenue Interchange. Highway Commercial uses should be designed to serve both City residents and to have a regional draw. Highway Commercial development should include “destination places,” with a diverse mix of uses and activities. Potential uses within the zone may include gas stations, restaurants, large scale retail, hotels, and entertainment venues. These uses benefit from the proximity to the Walnut Avenue freeway interchange, which is able to accommodate higher traffic volumes associated with “destination” places. All site plans and building elevations, signage, architectural and design features, off-street parking facilities, and landscaping shall be designed, approved, and constructed in accordance with the Specific Plan design guidelines, presented in Section 2.7.
2. **Summary of Development Standards.** Development standards are summarized in [Table 6, Walnut Avenue Specific Plan Highway Commercial Development Standards](#).
3. **Parking Standards.** Parking spaces need not be located on the same parcel as the use the parking spaces serve. All required off-street parking spaces shall be accessible to and located on the same side of Walnut Avenue as the use and/or development requiring such spaces.
4. **Other Applicable Standards.** In addition to the standards contained in this section and in

the design guidelines (Section 2.7), the Zoning Code standards listed below apply. In the event of a conflict between the Specific Plan standards and the Zoning Code, the Specific Plan standards shall prevail. The applicable Zoning Code standards include:

- Section 17.46 Accessory Structures;
- Section 17.54 Landscaping;
- Section 17.55 Resource Efficiency;
- Section 17.62 Signs;
- Section 17.56 Lighting;
- Section 17.58 Parking; and
- Section 17.60 Performance Standards.

## Residential Use Development Standards

This section presents the development standards applicable to high density residential uses within the Plan Area.

1. **Intent for High Density Residential Uses.** High density residential areas are intended to accommodate high density multi-family development, such as apartments and condominiums, and to provide a transition between the existing residential areas to the south and the planned commercial areas. Residential densities are intended to be in the range of 10 to 21 dwelling units per acre. Small lot single family residential development meeting the minimum density standards is acceptable. Standards promote attractive residential development that is compatible with surrounding neighborhoods. The standards are also intended to regulate uses to assure compatible development that limits



**Table 6 Walnut Avenue Specific Plan Highway Commercial Development Standards.**

Lot Area <sup>1</sup>	Minimum 10,000 square feet
Coverage <sup>2</sup>	Maximum 60 percent
Floor Area Ratio	Minimum 0.20; Maximum 0.50
Front and Street Side Setback <sup>3</sup>	None required
Setback to Walnut Avenue <sup>3</sup>	Minimum 15 feet
Second/Third Story Setback to Apple Avenue	Minimum 30 feet
Side and Rear Interior Setback <sup>4</sup>	None required
Height Primary Structures <sup>5</sup>	Maximum 2 stories and 35 feet; (3 stories and 50 feet with elevator and fire department approval)
Landscaped Area <sup>6</sup>	Minimum 15 percent

**Notes:**

1. There is no minimum size for condominium divisions.
2. The coverage on a given lot may exceed 60 percent so long as the overall coverage within the commercial portion of the Plan Area does not exceed 60 percent. Height requirements are supplemented by the requirements of the design guidelines, which apply in the case of a conflict.
3. At least 50 percent of a street setback shall be permanent landscape area, pursuant to Zoning Code Section 17.54. Outdoor seating serving adjacent uses may be incorporated into the landscaping. Along Walnut Avenue, the entire setback must be landscaped, but may include walkways.
4. When the building frontage is greater than 300 linear feet, the rear setback must be a minimum of 20 feet.
5. See Zoning Code Section 17.48 for height measurement standards and exceptions. All mechanical equipment must be screened from public view within the allowed height restrictions (See Zoning Code Figure 17.32-1). Any features used to obscure equipment must be compatible with the architecture of the building. Height requirements are supplemented by the requirements of the design guidelines, which prevail in the case of a conflict.
6. Landscaping is in addition to detention basin, open space and amenity requirements.

impacts on surrounding uses. Development is typically two stories in height (conditionally up to three-stories).

2. **Summary of Development Standards.** Development standards are summarized in [Table 7, Walnut Avenue Specific Plan High Density Residential District Development Standards](#).
3. **Other Applicable Standards.** In addition to the standards contained in this section and in the design guidelines (Section 2.7), the Zoning Code standards listed below apply. In the event of a conflict between the Specific Plan standards

and the Zoning Code, the Specific Plan standards shall prevail. The applicable Zoning Code standards include:

- Section 17.46 Accessory Structures;
- Section 17.54 Landscaping;
- Section 17.55 Resource Efficiency;
- Section 17.62 Signs;
- Section 17.56 Lighting;
- Section 17.58 Parking; and
- Section 17.60 Performance Standards.



**Table 7 Walnut Avenue Specific Plan High-Density Residential Development Standards**

Lot Area	No minimum
Density	Minimum 10 units/acre; Maximum 21 units/acre
Number of Residential Units	Maximum 220
Lot Coverage	Maximum 70 percent
Landscaped Area	Minimum 20 percent
Height, Primary Structures <sup>1</sup>	Maximum 2 stories and 30 feet; (3 stories and 45 feet with elevator and fire department approval)
Height, Accessory Structure <sup>1</sup>	Maximum 16 feet
Front Setback	Minimum 15 feet
Side Setback, Interior	Minimum 5 feet
Side Setback, Street	Minimum 10 feet
Rear Setback	Minimum 10 feet
Second/Third Story Setback	Minimum 30 feet from Apple Avenue

**Notes:**

1. Height requirements are supplemented by the requirements of the design guidelines, which prevail in the case of a conflict.

### Mixed Use Development Standards

This section presents the development standards applicable to mixed uses within the Plan Area.

- 1. Intent for Mixed Uses.** Mixed Use development may be sited at any location within the Plan Area. Mixed Use development includes both a residential and a commercial use within the same building or parcel. Mixed Use may also be designed to occupy a portion of a building or parcel, with purely residential or commercial development in the remainder, to allow a mixed use front to integrate with a predominately residential or commercial development. All site plans and building elevations, signage, architectural and design features, off-street parking facilities, and landscaping shall be designed, approved, and constructed in accordance with the Specific Plan design guidelines, presented in Section 2.7.
- 2. Summary of Development Standards.** Development standards are summarized in [Table 8, Walnut Avenue Specific Plan Mixed Use Development Standards](#).
- 3. Parking Standards.** A minimum of 75 percent of commercial parking spaces must be provided on-site or on adjacent property, and up to 25 percent of commercial spaces may be provided on-street. Residential parking shall be designed such that it is not available for customers of commercial uses, and shall be provided entirely on-site.



**Table 8 Walnut Avenue Specific Plan Mixed Use Development Standards**

Lot Area <sup>1</sup>	Minimum 10,000 square feet
Coverage <sup>2</sup>	Maximum 60 percent
Commercial Floor Area Ratio	Maximum 0.25
Residential Floor Area Ratio	Maximum 1.0 including garage and storage areas
Front and Street Side Setback <sup>3</sup>	None required
Setback to Walnut Avenue <sup>4</sup>	Minimum 10 feet
Side and Rear Interior Setback <sup>5</sup>	None required
Second/Third Story Setback	Minimum 30 feet from Apple Avenue
Height Primary Structures <sup>6</sup>	Maximum 2 stories and 35 feet; (3 stories and 50 feet with elevator and fire department approval)
Landscaped Area <sup>7</sup>	Minimum 15 percent

**Notes:**

1. There is no minimum size for condominium divisions.
2. The coverage on a given lot may exceed 60 percent so long as the overall coverage within the commercial portion of the Plan Area does not exceed 60 percent. Height requirements are supplemented by the requirements of the design guidelines, which apply in the case of a conflict.
3. When a setback is provided the space shall be used for landscaping, seating, or similar use.
4. At least 50 percent of the setback shall be permanent landscape area, pursuant to Zoning Code Section 17.54. Outdoor seating serving adjacent uses may be incorporated into the landscaping.
5. When the building frontage is greater than 300 linear feet, the rear setback must be a minimum of 20 feet.
6. See Zoning Code Section 17.48 for height measurement standards and exceptions. All mechanical equipment must be screened from public view within the allowed height restrictions (See Zoning Code Figure 17.32-1). Any features used to obscure equipment must be compatible with the architecture of the building. Height requirements are supplemented by the requirements of the design guidelines, which prevail in the case of a conflict.
7. Landscaping is in addition to detention basin, open space and amenity requirements.

4. **Commercial Loading Docks and Storage Areas.** Loading docks are not permitted within Mixed Use areas. Commercial storage and trash areas shall be located a minimum of 25 feet from residential units, and visually screened from view from residential interiors.
5. **Commercial Hours of Operation.** Commercial uses may be open for business from 6:00 AM until 12 midnight. No commercial operational noise shall be audible at residential units before 7:00 AM or after 10:00 PM.

6. **Other Applicable Standards.** In addition to the standards contained in this section and in the design guidelines (Section 2.7), the Zoning Code standards listed below apply. In the event of a conflict between the Specific Plan standards and the Zoning Code, the Specific Plan standards shall prevail. The applicable Zoning Code standards include:
  - Section 17.46 Accessory Structures;
  - Section 17.54 Landscaping;



- Section 17.55 Resource Efficiency;
- Section 17.62 Signs;
- Section 17.56 Lighting;
- Section 17.58 Parking; and
- Section 17.60 Performance Standards.

## Land Use Approvals

Land use approvals generally follow the procedures of the Zoning Code. The following sections augment or replace the Zoning Code.

### Accessory Uses

Accessory uses are only allowed when accompanying or as a part of a principle use, on the same site or an adjacent site, and are subject to the same approval requirements as the principle use.

### Conditional Use Permits

The following conditional use permit provisions apply in lieu of Zoning Code section 17.16.060 Conditional Use Permit.

1. **Purpose and Applicability.** The purpose of the Conditional Use Permit is for the individual review of uses, typically having unusual site development features or operating characteristics, to ensure compatibility with surrounding areas and uses. A Conditional Use Permit is required for all uses identified in [Table 5, Allowed Uses](#), as requiring a Conditional Use Permit.
2. **Approving Authority.** The Approving Authority for a Conditional Use Permit is the Planning Commission. The Community Development Director provides a recommendation and the Planning Commission approves, conditionally

approves, or denies the Conditional Use Permit in accordance with the requirements of this Specific Plan.

3. **Findings.** Conditional Use Permits are quasi-judicial, and shall be granted only when the Planning Commission determines that the proposed use or activity complies with all of the following findings.

(A) The proposed use is consistent with the General Plan, the Specific Plan, and all applicable provisions of the Greenfield Municipal Code;

(B) The establishment, maintenance or operation of the use applied for meets the applicable land use compatibility criteria of the Specific Plan; and

(C) The establishment, maintenance or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of the public.

4. **Conditions/Guarantees.** The Planning Commission may impose conditions and/or require performance guarantees for the Conditional Use Permit to ensure compliance with this Section and other applicable provisions of the Specific Plan or the Greenfield Municipal Code, and to prevent adverse or detrimental impacts to public health, safety, or welfare.
5. **Permit Issuance.** The final action on the Conditional Use Permit by the Planning Commission shall constitute approval of the permit. Such permit shall only become valid after the designated ten-day appeal period has been completed.



6. **Permit Life, Expiration, and Extension.** The Conditional Use Permit shall have an indefinite life and run with the land. However, if amendments are made to the Specific Plan design standards and/or development standards after a Conditional Permit is issued and before the Conditional Use Permit is exercised, the Conditional Use Permit shall expire and become null and void unless exercised within three years of the Specific Plan amendment. A Conditional Use Permit that is allowed to become inactive shall have an indefinite life and run with the land. However, if amendments are made to the Specific Plan design standards and/or development standards during the inactive period, the Conditional Use Permit shall expire and become null and void unless the conditional use is resumed within three years of the Specific Plan amendment. Conditional Use Permits may be extended in accordance with Greenfield Municipal Code section 11.18.060.

**Design Review**

The following Design Review provisions apply in lieu of Zoning Code section 17.16.070 Design Review:

1. **Purpose and Intent.** The purpose of the Design Review process is to promote the orderly and harmonious development of the Plan Area; to encourage development in keeping with the desired character of the City and Plan Area; to ensure physical, visual, and functional compatibility between uses; and to help prevent the depreciation of land values by ensuring proper attention is given to site and architectural design. This process is intended to provide a means for consideration of development proposals by which the site, architectural, and overall project design are substantially

improved, and benefits to the City increased. The Plan Area is intended to support a mix of commercial and residential uses, designed to provide a harmonious, unified, and compatible range of development.

2. **Applicability.** The Design Review approval process is required for the following items:

- (A) Residential development;
- (B) Non-residential development (e.g., commercial, office, industrial, public/quasi-public, telecommunications tower installations), including attached signage or lighting;
- (C) Free-standing signage or lighting;
- (D) Landscaping;
- (E) Parking lots, drainage basins, and other utility features; and
- (F) Modifications not exempted below.

3. **Exemptions.** The following are exempt from Design Review:

- (A) Non-residential additions or accessory structures totaling no more than 500 square feet in size not visible from the public right-of-way or quasi-public viewing area;
- (B) Repairs to and maintenance of the site or structure that do not add to, enlarge, or expand the site coverage, volume, height, or floor area of the structure and that employ the same materials and design as the original construction.
- (C) Interior alterations that do not change/expand the permitted use of the structure; and



- (D) Construction, alteration, or maintenance by a public utility or public agency of utilities intended to service existing or nearby approved developments (e.g., water, gas, electric or telecommunication supply or disposal systems, including wires, mains, drains, sewers, pipes, conduits, cables, fire-alarm boxes, police call boxes, traffic signals, hydrants, and similar facilities and equipment).
4. **Approving Authority.** The designated Approving Authority for Design Review is the Planning Commission. The Approving Authority shall approve, conditionally approve, or deny the proposed Design Review application in accordance with the requirements of this section. The Planning Commission may elect to appoint a three to five person design review committee as the Approving Authority for Design Review of projects within the Plan Area. Design Review approval is required prior to issuance of any ministerial building permits or site improvement plans and prior to or in conjunction with discretionary action of corresponding development applications (e.g., conditional use permit, variance). Phased Design Review approval may be granted, such as an overall site plan Design Review followed by individual building Design Review.
5. **Findings.** Design review approval, or any modification thereto, shall be granted only when the Approving Authority makes all of the following findings:
- (A) Notification of property owners pursuant to Zoning Code section 17.14.040 (Public Notices) has been provided for multi-story construction.
  - (B) The proposed project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, Specific Plan objectives and policies, and improvement standards adopted by the City;
  - (C) The proposed architecture, site design, and landscape design are consistent with the Plan design guidelines and are suitable for the purposes of the building and the site and will enhance the character of the neighborhood, Plan Area, and community;
  - (D) The development exhibits the Central Coast Industrial architectural theme or one of the alternate architectural themes. If an alternate architectural theme is used, the developer illustrates how the massing, detailing, and other aspects of the design provide a congruency with the Central Coast Industrial architecture.
  - (E) The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements, establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties. The plans subject to Design Review must establish building elevations, colors, and materials.
  - (F) The design adequately addresses the land use compatibility requirements of the Specific Plan;
  - (G) The proposed project addresses automobile, truck, transit, bicycle, and pedestrian circulation, and facilitates site access using alternatives to private automobiles; and



(H) The proposed project is well integrated with the City's street network, creates unique neighborhood environments, employs architectural design that fosters sense of community, and contributes to a pedestrian oriented environment.

6. **Conditions.** The Approving Authority may require that the applicant modify plans in whole or in part and may condition the design review approval to ensure inclusion of specific design features, use of specific construction materials, and conformance with all applicable provisions of the Specific Plan.
7. **Approval.** The final design review action on the project by the Approving Authority shall constitute approval of the permit. Such permit shall only become valid after the designated ten-day appeal period has been completed.
8. **Permit Life, Expiration, and Extension.** The Design Review approval shall have an indefinite life and run with the land. However, if amendments are made to the Specific Plan design standards and/or development standards after a Design Review is approved and before the approved development is commenced, the Design Review approval shall expire and become null and void unless construction commences within three years of the Specific Plan amendment. Design Review approvals may be extended in accordance with Greenfield Municipal Code section 11.18.060.

### Land Use Compatibility Criteria

In making findings regarding the compatibility of land uses, such as in making determinations regarding conditional uses or design review, the following issues shall be considered, along with any site or project-specific issues that may be identified.

1. **Noise or Vibration.** Uses, or features of uses, that routinely generate noise audible off the immediate site (e.g. loading docks, powered equipment, etc.) shall be located a minimum of 500 feet from the nearest residential property line, unless a lesser acceptable distance is documented by a noise report.
2. **Light or Shadow.** Uses that result in direct lighting on adjacent properties, flashing or moving lights visible at residences, or the casting of shadows on residential property more than two hours before sunset or after sunrise, are not compatible with residential uses.
3. **Aesthetics.** Uses shall be found consistent with the design guidelines.
4. **Traffic.** Uses with characteristics that could result in high traffic volumes on residential streets shall include measures to reduce traffic. Traffic compatibility shall not be based on meeting level of service standards alone, but shall also consider the appropriateness of project-generated traffic volumes on residential streets.
5. **Hazards.** Uses that emit or store potentially hazardous materials, shall be located at a sufficient distant, or with adequate shielding from residential uses, to prevent harm in the event of an accident; a finding of adequacy should be based on adopted standards, or in the absence of adopted standards, consultation with an appropriate agency.
6. **Hours of Operation.** Uses with characteristics that could result in noise in residential neighborhoods or high traffic volumes on residential streets, or otherwise disturb the peace and quiet in or near the Plan Area during hours in which the City's noise control ordinance restricts



noise, are not compatible with the residential neighborhoods within or adjacent to the Plan Area, except as specifically addressed for Mixed Use areas.

7. **Alcoholic Beverages.** The sale or service of alcoholic beverages shall not be unduly concentrated (i.e. exceed a reasonable density as determined by the Planning Commission), shall be located a minimum of 500 feet from the nearest residential property line (except those within Mixed Use areas), and shall not have characteristics that promote public intoxication or drunk driving.
8. **Specific Plan Goals.** Uses shall be consistent with the Specific Plan goals, objectives, and policies, including an emphasis on regionally-oriented retail and entertainment uses.
9. **Unique Issues and Circumstances.** In making findings for compatibility, nothing shall preclude the Planning Commission from considering issues and circumstances related to the use applied for, that are not addressed in the foregoing criteria.

## Section 2.7 Design Guidelines

### Purpose and Intent

The purpose of the design guidelines is to establish a framework and important ground rules within which the overall Specific Plan goals can be realized and the creativity of developers and designers can be expressed. These design guidelines have been developed with the express intention of allowing for and encouraging personal, creative, and unique design expression, while setting minimum standards of design quality and harmony with the



community of Greenfield. New development will reflect the fact that it is part of the larger Plan Area, and must contribute by way of good design, to the overall community.

The design guidelines endorse the use of a consistent design style, with Central Coast Industrial being the preferred style. The design guidelines set forth design principles that the City feels are important to good design of buildings and building sites, regardless of the architectural style. The style, shape and feel of structures is the most evident expression of design for most projects, and the architectural design guidelines focus largely on the structural design aspects of development. Site design affects not only the aesthetic characteristics of the site and surrounding area, but also significantly influences the functionality of the site. The design guidelines focus on site design that establishes a strong street edge and that facilitates social encounters and walkability. The design guidelines emphasize form



and proportion, relationships between buildings, and site amenities and layout. The City intends that these design criteria will foster a vibrant feeling within the Plan Area, while retaining a small town atmosphere. The Specific Plan intends that the physical arrangement of development provides for convenient access to services and promotes pedestrian circulation.

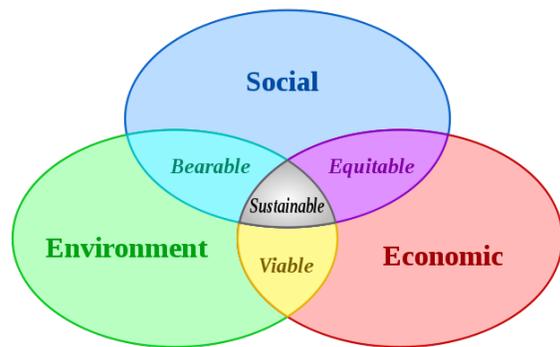
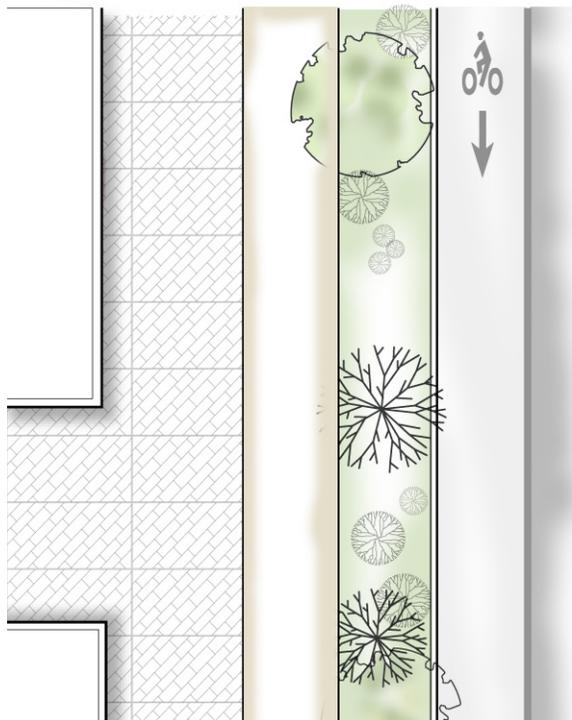
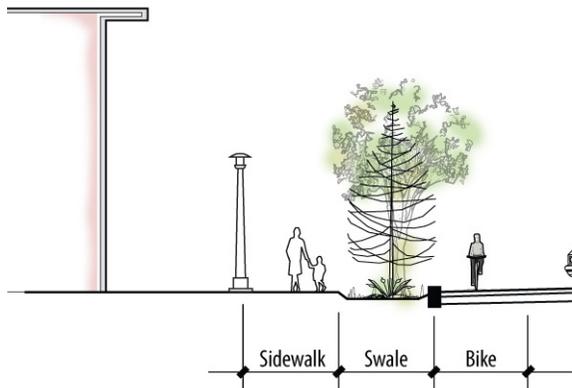
The main objective of the design guidelines is to protect and enhance the community's visual quality, by prescribing the characteristics of development that will be seen from adjacent properties or key community locations by residents and visitors.



The design guidelines intend to achieve diverse, yet harmonious, architectural styles and site and landscape designs.

The design guidelines encourage high quality design and development that will endure and maintain value over time. Long-term value fosters the continued economic vitality within the community, and ensures the continued strength of the City's economic base. A mix of appropriate land uses will balance jobs and housing, and present more opportunities for local residents to live and work in the same community.

The design guidelines promote environmentally sustainable development. The design and construction of buildings that minimize future energy consumption will reduce the City's and the nation's demand for potentially expensive and scarce energy





resources into the future. Development that provides a safe and comfortable environment that facilitates walking and bicycling, saves energy and encourages lifestyle choices that protect the health and well being of the City’s citizens.

Through encouraging development within the community at a person-oriented scale, the design guidelines encourage healthful social interactions by personalizing development and creating spaces within which person to person encounters may flourish. The design guidelines aim to cultivate a visually stimulating urban fabric: well-defined exterior space; diverse streetscape; pedestrian amenities such as benches, shade trees, attractive lighting, and inviting places to eat and drink; and spaces that offer more shared cultural opportunities, such as outdoor art and music.



The design guidelines intend to encourage a wide range of high-density housing choices, all well-designed and capable of providing community for their residents. The housing may include cluster houses, apartments, and condominiums, and residences mixed within commercial areas, all designed to provide a home and community for each resident.

## Architectural Design Guidelines

### Architectural Style

The Plan Area preferred architectural style is Central Coast Industrial, as described below and in Appendix C, Alternative Architectural Style Options. Alternate acceptable styles may include California Mission and California Craftsman; examples are included in Appendix C. When these alternate styles are

employed, the design shall be developed with a mind to blending with and complementing the overall



Central Coast Industrial style. The styles may not be randomly mixed within the Plan Area.





The following are characteristic elements of the Central Coast Industrial style, and serve as a “menu” of potential design elements when designing buildings in this style.

- Industrial and agricultural forms with exposed structure;
- Multiform roofs and projected eaves;
- Clerestory and industrial windows;
- Industrial and rural materials, such as corrugated metal, concrete, and wood lap siding;
- Steel awnings or canopies;
- Signage painted on building; and
- Roof monitors, copulas, water towers, silos, elevators, and similar functional features.



Design building forms and detailing to imitate historic industrial buildings and warehouses. Use multiform roofs, including interesting combinations of



gables, sheds, gambrel roofs, and trellis canopies. Roof pitches can vary. Roof parapets shall be well-detailed, three dimensional, and of substantial size to complement the building. Visible roof materials may include corrugated metal, metal raised seam, concrete tile, or comparable material.

Dormer and clerestory windows, second story uses, walkways, and balconies are encouraged. Reinforce the industrial building style using wall materials such as brick, split face masonry, corrugated metal, glass, wood lap siding, vertical wood (but not T1-11 type plywood siding), and stucco.

### Commercial Architecture

The apparent building mass shall be minimized through the careful use of design and finishes. Horizontal changes of wall plane are required every 40 feet, on average. For buildings with walls taller than 15 feet, vertical changes of wall plane are required. The orientation of the resulting wall units should generally be vertical, unless the architectural style or context specifically requires a horizontal orientation. For buildings wider than 120 feet, the change of plane should take place on two scales to maintain interest from distant and close perspectives.

Horizontal changes in wall plane (i.e. using vertical elements) may be achieved through a variety of means. Windows may be used to contribute to changes in wall plane. Changes in color and/or texture can be used to accentuate physical changes in wall plane, but should not be the sole change. The following list provides several examples of horizontal changes in wall plane.





- Fore-aft off-set of walls;
- Wall recesses or protrusions;
- Vertical columns or bands (raised or recessed);
- Trellis-work;



- Changes in material (for example, a glass wall section); and
- Series of archways; with a vertical orientation.

Vertical changes in wall plane (i.e. using horizontal elements) may be achieved through the use of string and/or band courses (raised, recessed, textured); a fronting arcade; combination of base and cap (on shorter walls); projection or set-back of upper levels; or similar means. A cap or parapet may be provided at the top of the wall if appropriate. In the event height limits constrain accomplishment of attractive design, roof or upper wall elements may exceed the height limit by up to 10 percent for no greater than 20 percent of the wall length.

Provide consistent architectural design and detailing on all sides of a building to help eliminate obvious “side” and “back” of building appearances. The public-facing facades (including those visible from U.S. Highway 101), and facades within 100 feet of residential lots, should be enhanced. Design buildings situated at corners to present equally attractive facades of similar appearance on both sides.

Features that emphasize the corners shall be used at corners and at building intersections. Building elevations visible from streets and highways shall be finished.

Buildings should be designed with careful attention to proportion, scale, balance, and rhythm. Building elements should logically relate to one another and have a unified style and lines. Reflect the natural characteristics, uses, and limitations of the building materials used. Heavy types of materials, such as stone or brick, should be used primarily at bases of buildings or for pillars, and should not be used above lighter materials such as wood siding. For example, decorative arches should exhibit the structural qualities of a true arch. Surfaces that appear like an appliqué or are out of context of the overall building structure or character shall not be used. Posts with decorative treatments that do not extend to the ground should be screened by landscaping.

Building architecture and siting shall provide focal points from both distant perspectives (such as tower features) and close-in pedestrian-scaled perspectives (such as entry enhancement). Pedestrian focal points should be designed at a human scale with reduced building height, increased architectural detail, or other similar means. For buildings placed near the street, orient windows and entry doors toward the street. Use clear glass, restrained signage (not internally lit), and interesting window displays on commercial storefronts to enliven the sidewalk. Service doors and utilities should not face the street, and if it is necessary to do so, shall be visually screened.

Awnings, canopies, and arcades should be used to accent building openings and provide climate protection. Arcades shall relate to the overall building design, architectural style, and should serve a practical purpose. Colors shall be chosen to complement the building architecture and landscaping. Natural



color palettes, earth tones, metallic finishes, and discriminating use of saturated colors are acceptable. Darker, richer and brighter colors may be used as accents or for special features. Corporate color schemes may be incorporated, but should be integrated into the overall color scheme. The use of building materials that are recycled and renewable, sustainably grown or produced, and those producing low chemical emissions is encouraged.



### Commercial/Residential Transitions and Mixed Use Areas

Commercial uses adjacent to residential areas and within mixed use areas shall be designed to minimize disturbance of residents. Multi-family residential uses shall be used to transition between commercial uses and existing and future residential uses adjacent to the Plan Area. To reduce commercial noise at residences, loading docks and doors shall not be oriented toward residential uses, and commercial parking lots shall be located across a street or otherwise isolated from residential uses. Where commercial buildings are adjacent to residential uses, ground floor detailing shall be provided along the residential street façade, and similar detailing shall be provided for commercial buildings in

Mixed Use areas. No internally lit signs or flashing signs shall be oriented toward adjacent residential uses [LEED – ND GIB Credit 17: Light Pollution Reduction].

### Residential Architecture

Employ building massing and building articulation that relate to the surrounding uses. Adjacent to existing or future residential neighborhoods, use a building scale that is similar to and draws on elements of the homes. Along Apple Avenue, building heights shall not exceed one story within 30 feet of the Apple Avenue right-of-way. Elsewhere, and particularly adjacent to commercial uses, building massing should contribute to the visual definition of the street edge, and three stories are encouraged.



Keep windows, doors, and other façade elements in balance on each elevation, whether symmetrical or asymmetrical. The window pattern within each façade should be well-designed and visually pleasing. Extensive blank, solid walls (overly long or overly tall) are discouraged on all elevations and are not permitted on elevations visible to public view. If such walls are necessary for interior or structural reasons, provide some form of variation or decoration such as false windows and balconies, wainscotting, and/or trellis plantings.



Provide depth to the façade by employing recessed and projecting elements, including prominent features such as bay windows and porches, and subtle features such as recessed window planes and raised trim. Windows should be set in from the



wall plane to provide depth and shadow to the wall. Features should be appropriate to the architectural style.

Incorporate varied front setbacks within the same structure by staggering unit plans, use of reverse or different building plans to add variety; and/or place a maximum of two adjacent units with similar exteriors. Locate air conditioning, mechanical equipment, antennae and television receiver dishes, and vents on sides of the roof that are not visible from the street to the extent feasible.

Orient building entries toward Apple Avenue, 3rd Street, landscaped courts, or pedestrian paths, and not directly onto parking lots. Residential parking lots fronting on 3rd Street or Apple Avenue shall not exceed one double-loaded aisle and shall be screened from the street by landscaping.

## Community Character Design Guidelines

### Streetscape

The “streetscape” shall consist of landscape features within the street right-of-way and within the street frontage landscape strip as defined in Zoning Code Table 17.54-1. Streetscape standards are supplemental to the requirements of Zoning Code chapters 17.52 and 17.54. The provisions of these design guidelines shall prevail in the event of a conflict. Street trees shall be planted with crowns (at maturity) adequate to provide shade to at least 50 percent of the length of sidewalks within the Plan Area [*LEED – ND NPD Credit 14: Tree-lined and Shaded Streets*].

### Landscaping

Landscape standards are supplemental to the requirements of Zoning Code chapters 17.52 and 17.54. The provisions of these design guidelines shall prevail in the event of a conflict.

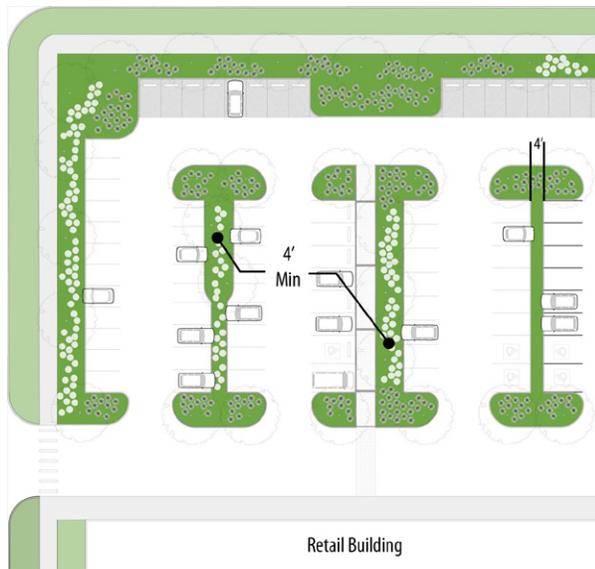
Storm water basins shall be landscaped at minimum along the upper periphery. Preferably, storm water basins shall be landscaped on side slopes, and to the extent that conflicts with maintenance requirements can be avoided, landscaped with





plant materials or hardscape materials on the bottom surface. Irregular contours mimicking natural water features are encouraged. Where only peripheral plantings are possible, the plantings shall be designed to screen views of the basin and fencing. Design of basins for recreational use is encouraged.

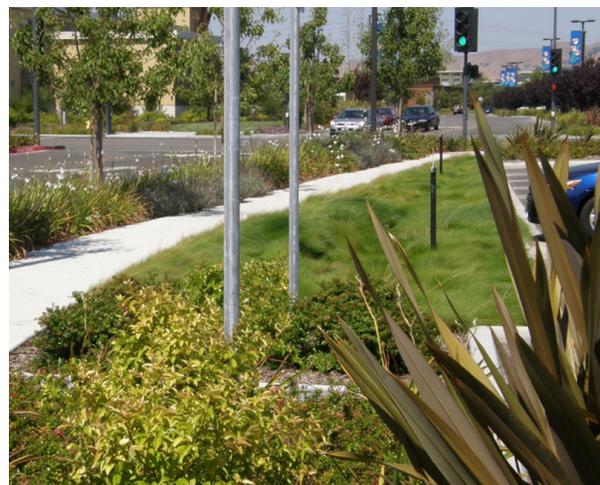
Planting areas shall be included within parking lots and shall have a minimum of four feet in any dimension. Larger planting areas that allow for substantial plantings are encouraged over small or narrow planting strips, even if the distance between planted areas is somewhat greater.



Plant materials shall be predominantly drought tolerant, with an emphasis on native plants. All streetscape planting shall be drought tolerant [LEED — ND GIB Credit 4: *Water-Efficient Landscaping*]. Commercial area plantings requiring higher quantities of irrigation water shall be used only in focused areas, such as adjacent to building entrances, outdoor seating areas, plazas, and landscaped focal points, and shall constitute no more than 10 percent of the commercial landscaped area. Areas of higher intensity irrigation shall be specifically identified on the landscape plans [LEED — ND GIB Credit 4: *Water-Efficient Landscaping*].



Irrigation systems shall be designed to provide an appropriate level of irrigation intensity corresponding to the water needs of the plant materials [LEED — ND GIB Credit 4: *Water-Efficient Landscaping*]. Landscaping shall be provided along site boundaries as necessary to screen views of loading docks and doors from U.S. Highway 101, city streets, or residential areas.





Landscape areas adjacent to paved areas shall be utilized for storm water dispersal to the extent capable. Bioswales or vegetative filter plantings shall be utilized where storm water run-off discharges from paved areas to landscaped areas [LEED – ND GIB Credit 8: Storm Water Management].



### Fencing

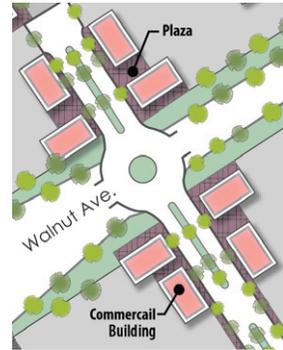
Fencing or free-standing walls shall only be used when necessary to screen storage, trash, utility or service/loading areas; protect adjacent areas from unacceptable noise levels; or provide private residential space. Solid fencing or walls for screening storage, trash, utility, or service areas shall not exceed eight feet in height. Where additional height is necessary to achieve adequate screening, mesh or screen compatible with the overall fence and associated building design shall be used.



Fencing and free-standing walls shall be constructed in a style and using materials and colors that are compatible with adjacent buildings. Fencing and free-standing walls within three feet of a driveway or parking lot, or within 15 feet of a street right-of-way, shall not exceed three feet in height. Fencing and free-standing walls exceeding three feet in height shall be partially screened with vegetation.

### Site Planning

Cluster commercial buildings along public streets or the commercial area entry road. Incorporate useable open spaces into commercial development. As an example, the use of courtyards, plazas, and other amenities, such as outdoor seating, water features, sculptures, tot lots, or drinking fountains is highly encouraged. Locate seating in places shaded in summer and sunny in winter, and shielded from prevailing winds [LEED – ND NPD Credit 9: Access to Civic and Public Spaces].



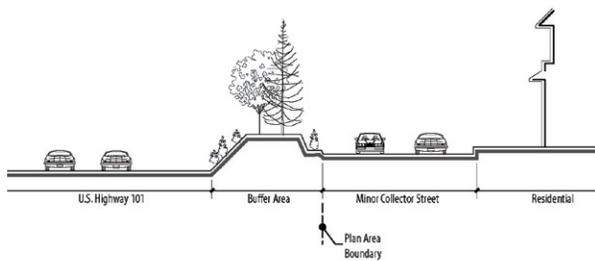
Design the residential site layout and landscaping in order to maintain street visibility of doors and windows, and enhance security. Provide good visibility by planting large specimen trees, low shrubs,





and groundcovers near buildings and pedestrian pathways. Common areas should be visible from adjoining residential units.

To reduce adverse noise and air quality effects, set residential development back from U.S. Highway 101 by using the area nearest the highway for parking or other uninhabited uses. Building utilities shall be placed at the side or rear of buildings, and screened by landscaping or structural extensions.



### Parking and Loading Areas

Commercial drive aisles should provide convenient access and departure from parking lots. Drive aisles should be designed to divert some traffic away from the aisle nearest the store fronts, to reduce traffic congestion and pedestrian conflicts in that area.



Semi trailer truck access should be routed to avoid the core area of the parking lot. Curb-side drop-off spaces outside the traffic flow should be provided for stores or groups of stores without rear delivery areas.

Residential parking areas should be no greater in size than one double-loaded drive aisle, with an exception allowed if the parking area is adjacent to the U.S. Highway 101 right-of-way. Locate commercial area bicycle and motorcycle parking spaces near main entries of buildings, in visible locations out of the way of pedestrian circulation and outdoor display areas. Provide a permanently anchored means of locking bicycles and motorcycles that will accommodate cable and U-locks.



Outdoor storage, utility, and service/loading areas shall be screened from view of streets, publically-accessible private property, and adjacent residential areas.

### Pedestrian Circulation

Provide direct pedestrian access routes from streets into the commercial buildings, particularly at corners of the site where pedestrians would first approach the site, and at locations adjacent to residential areas. Provide a mid Plan Area pedestrian connection near Pepper Drive/Wilson Circle to provide the most direct pedestrian access possible between Apple Avenue residential uses and Walnut Avenue commercial areas. Provide similar pedestrian access



points along 3rd Street for future residential development east of 3rd Street. If a pedestrian pathway (rather than a sidewalk along a driveway) is used for this purpose, residential entries should front on the pathway. For commercial buildings placed near the street, the on-site walks should provide direct connections from street sidewalks.



### Signage

Sign guidelines are supplemental to the requirements of Zoning Code chapter 17.62. The provisions of these design guidelines shall prevail in the event of a conflict. Signs, including standard franchise signs, must be integrated into the building architecture, and should enhance the building

architecture. Sign placement should relate to the position of the building entrance. No sign shall dominate the building façade, but rather, architecture should dominate over signage. Non-internally lit fin signs, under marquee signs, awning signs, and face mounted building signs are encouraged. All signs are encouraged to have either individual internally illuminated letters or external lighting. Exterior signs that are illuminated from within shall have individually illuminated letters, logos, or symbols on a non-illuminated field. Internally illuminated sign boxes or cabinets are not allowed. Signs may not be placed at an elevation higher than 90 percent of the building height. Where the building form, colors, or details are business trademarks or icons, additional building and site signage should be minimized.



In addition to building signage, tower signage and entry driveway signage may be provided. Two internally illuminated tower signs, not to exceed 75 feet (150 percent of the maximum building height) may be provided in locations visible from U.S. Highway 101, one north of and one south of Walnut Avenue. Maximum area of each tower sign (excluding the support tower) shall be 1,800 square feet per side. No more than 25 percent of the sign area may be changeable image or text. The tower signs shall be designed with features evoking the Central Coast Industrial architectural style. Monument signs may



be placed at each commercial entrance from a public street, and shall not exceed a height of 15 feet and 75 square feet of sign area. Monument signs shall be designed with features evoking the Central Coast Industrial architectural style. Small scale monument signs, not to exceed a height of five feet and 35 square feet, may be used to provide direction to particular stores.

Residential signage shall be limited to monument or ground mounted signs and wall signs, not exceeding four feet in height, with total area not exceeding 50 square feet for any sign. A maximum of one sign is permitted per each street frontage, or per street corner.



### Project Gateways

Walnut Avenue shall be divided with landscaped medians. In addition to the monument signs, entry monument elements, up to 30 feet in height are permitted to provide for a distinctive entrance,

and may be located at the entry corners or within the median along Walnut Avenue or the Plan Area entry road, but may not include signage or logos.



### Lighting

Lighting guidelines are supplemental to the requirements of Zoning Code chapter 17.56. The provisions of these design guidelines shall prevail in the event of a conflict.

Use the minimum necessary illumination levels, warm color temperatures (3,500 degrees Kelvin is preferred), even spectral distribution, and shielded/



hooded fixtures. Generally, parking lot and store-front area illumination levels should be a minimum of 1.0 lumens, but

not excessively bright. Ambient illumination levels at pedestrian routes should be a minimum of 0.5 lumens. Use parking lot lighting fixtures or standards, ten to twenty feet in height above the pavement, of a design that is complementary to the overall character of the development. Coordinate the spacing of lighting with the placement of trees [LEED – ND GIB Credit 17: Light Pollution Reduction].





Outdoor lighting shall meet the California Energy Commission (Title 24) energy efficiency standards applicable to Lighting Zone 3 (LZ3). Cut-off fixtures and screening shall be used so that outdoor light sources (bulbs) are not directly visible from

the normal viewing angles adjoining highways, streets, or private property [*LEED – ND GIB Credit 17: Light Pollution Reduction*]. Outdoor lighting shall be dark sky friendly [*LEED – ND GIB Credit 17: Light Pollution Reduction*].