

CITY OF GREENFIELD PLANNING COMMISSION

**Greenfield Civic Center
599 El Camino Real
Greenfield California
Tuesday
September 1, 2015
6:00 P.M.**

**CHAIR ANDREW TIPTON
VICE CHAIR DIANE BRUEGGEMAN
COMMISSIONER TINA MARTINEZ
COMMISSIONER ENRIQUE RAMIREZ
COMMISSIONER MARIA CORRALEJO
COMMISSIONER MARIA CASTILLO**

AGENDA & ORDER OF BUSINESS

A. CALL TO ORDER

B. ROLL CALL

**C. PUBLIC COMMENTS FROM THE AUDIENCE/STAFF ON ITEMS NOT ON
THE AGENDA**

**D. ADOPTION OF THE AUGUST 4, 2015 AND AUGUST 19, 2015 PLANNING
COMMISSION MINUTES**

E. DESIGN REVIEW

1. **ARC 2015-02 -SINGLE-FAMILY RESIDENCE DON VICENTE
DRIVE/SANDOVAL SUBDIVISION**

- a. Staff Report
- b. Open/Close Public Comment
- c. Planning Commission Discussion
- d. Action

F. COMMENTS FROM PLANNING COMMISSION AND STAFF

G. ADJOURNMENT

City of Greenfield
Planning Commission Minutes
August 4, 2015

CALL TO ORDER

Chair Tipton called the meeting to order at 6:00 pm.

ROLL CALL

Present: Chair Tipton, Commissioners Martinez, Ramirez and Castillo

Absent: Vice-Chair Brueggeman Commissioner Corralejo

Staff: Community Services Director Steinmann and Deputy City Clerk Gomez

Guest: None

PUBLIC COMMENTS FROM THE AUDIENCE/STAFF ON ITEMS NOT ON THE AGENDA

No comments were received.

ADOPTION OF THE JULY 7, 2015 PLANNING COMMISSION MINUTES

Motion made by Commissioner Castillo seconded by Commissioner Ramirez to approve the July 7, 2015 Planning Commission Minutes

ARC 2015-05 DESIGN REVIEW-SINGLE FAMILY RESIDENCE 1076 CHALONE DRIVE (APN 024-232-002

Community Services Director Steinmann gave staff report.

Chair Tipton opened public comment at 6:06pm.

No comments were received.

Chair Tipton closed public comment at 6:07pm.

A Motion by Commissioner Martinez seconded by Commissioner Castillo to Adopt Resolution 2015-04 granting Design Review approval for the construction of a single family residence at 1076 Chalone Drive, APN: 024-232-002. All in favor. Motion carried.

TENTATIVE MAP FOR THE OAK TERRACE SUBDIVISION CONSISTING OF PROPERTY LOCATED ON TERRACE DRIVE (APNS: 024-072-049,050,051,052,053 AND 054)

Community Services Director Steinmann gave staff report.

Chair Tipton opened public comment at 6:16pm.

Geary Coats was present to answer questions and was in agreement with the requirements as needed.

Chair Tipton closed public comment at 6:22pm.

Planning Commission requested further information and decided to table the meeting.

A Motion by Commissioner Ramirez seconded by Commissioner Martinez to table the item for additional information. Motion carried. All in favor.

COMMENTS FROM PLANNING COMMISSION AND STAFF

No Comments were received.

ADJOURNMENT

Chair Tipton adjourned the meeting at 6:43pm.

Chair of the Planning Commission

Secretary of the Planning Commission

City of Greenfield
Planning Commission Minutes
August 19, 2015

CALL TO ORDER

Chair Tipton called the meeting to order at 5:35 pm.

ROLL CALL

Present: Chair Tipton, Vice-Chair Brueggeman Commissioners Martinez, Ramirez Corralejo and Castillo

Absent: None

Staff: Community Services Director Steinmann and Deputy City Clerk Gomez

Guest: Bob Thorp and John Pekema

PUBLIC COMMENTS FROM THE AUDIENCE/STAFF ON ITEMS NOT ON THE AGENDA

No comments were received.

**CONTINUED-TENTATIVE MAP FOR THE OAK TERRACE SUBDIVISION
CONSISTING OF PROPERTY LOCATED ON TERRACE DRIVE (APNS: 024-072-
049,050,051,052,053 AND 054)**

Community Services Director Steinmann gave staff report.

Chair Tipton opened public comment at 5:37pm.

Bob Thorp and John Pekema were present to answer questions.

Chair Tipton closed public comment at 6:23pm.

Planning Commission discussed the item and was satisfied with the additional information that was provided.

A Motion by Commissioner Ramirez seconded by Vice Chair Brueggeman to adopt Resolution 2015-05 recommending the City Council of the City of Greenfield approve the tentative map for the Oak Terrace Subdivision subject to the specified conditions of approval. All in favor. Motion carried.

COMMENTS FROM PLANNING COMMISSION AND STAFF

No Comments were received.

ADJOURNMENT

Chair Tipton adjourned the meeting at 6:24pm.

Chair of the Planning Commission

Secretary of the Planning Commission



Planning Commission Report

599 El Camino Real Greenfield CA 93937 831-674-5591
www.ci.greenfield.ca.us

DATE: August 28, 2015

AGENDA DATE: September 1, 2015

PREPARED BY: Mic Steinmann, Community Services Director

TITLE: Design Review – Single-Family Residence
Don Vicente Drive/Sandoval Subdivision

RECOMMENDATION: Approve Design Review Application

PUBLIC HEARING: Yes: _____ No: X

General Plan: Medium Density Residential

Zoning District: Multiple Family Residential (R-M)

Environmental Review: Negative Declaration 2005

Applicant: Jose Gonzalez, owner

Application for: DESIGN REVIEW

File No.: ARC 2015-02

AUTHORITY AND PROCEDURES

Section 17.10.040 of the City of Greenfield Zoning Code sets forth the responsibilities of the Planning Commission. Those responsibilities include, among others, hearing and deciding applications for design review. For design review, the Planning Commission is the designated Approving Authority. The zoning code requires design review for all single-family residential development. The purpose of design review is set forth in section 17.16.070.A of the zoning code:

The purpose of the design review process is to promote the orderly and harmonious growth of the city, to encourage development in keeping with the desired character of the city; to ensure physical, visual, and functional

compatibility between uses; and to help prevent the depreciation of land values by ensuring proper attention is given to site and architectural design.

It is the responsibility of the Planning Commission to “approve, conditionally approve, or deny the proposed design review application.” As part of the design review process, the Planning Commission may require that “the applicant modify plans in whole or in part and may condition the design review approval to ensure inclusion of specific design features, use of specific construction materials, and conformance with all applicable provisions of this title” (section 17.16.070.F).

Section 17.16.070.E requires that design review approval or any modification thereto may be granted only when the Planning Commission makes all of the following findings:

1. Any two-story construction requires notification of property owners pursuant to section 17.14.040, “Public Notices,” of this title;
2. The proposed project is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan provisions, planned unit development provisions, applicable city design guidelines, and improvement standards adopted by the city;
3. The proposed architecture, site design, and landscape design are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and the community;
4. The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties;
5. The proposed project addresses vehicular, bicycle, and pedestrian transportation modes of circulation; and
6. For specific plans and planned unit development design review application, the proposed project is well integrated with the city’s street network, creates unique neighborhood environments, employs architectural design that fosters sense of community, and contributes to a pedestrian oriented environment.

If the Planning Commission approves design review, with or without conditions, the final design review action by the Planning Commission constitutes approval of the permit. Such permit then becomes valid after the designated ten (10) day appeal period.

BACKGROUND AND PROJECT DESCRIPTION

Pre-2007 Zoning Code

When the Sandoval Subdivision was first considered, its development was subject to the City's pre-2007 zoning code. Under that code, the area for this subdivision was in the Medium Density Residential (R-2) district. That code also provided for a planned unit development (PUD) classification, the purpose of which was to apply regulations more flexible than those pertaining to the zoning district in which the land was located.

In 2005 an application was made by the property's then owner, Jerry Sandoval, to create a Planned Unit Development. The City's zoning code allowed the creation of a PUD to encourage creative approaches to design problems and to permit unique or innovative solutions in lieu of the development standards otherwise required by the zoning code, whenever the purposes of the zoning code would be better served.

Pre-2007 development standards for the Medium Density Residential district established a front yard setback of 15 feet, with flexibility for the Planning Commission to require staggering of setbacks whereby the front setback could be reduced to 12 feet, except in cul-de-sacs where the front setback could be reduced to as little as 10 feet. The PUD approved for the Sandoval Subdivision provided that no structure could be placed closer than 15 feet from any public street right-of-way, consistent with the zoning code in effect at that time. The Planning Commission adopted a resolution on March 14, 2005 (Resolution No. SUB 2005-01) that the City Council adopt a Negative Declaration and approve the Planned Unit Development and a Tentative Map for this subdivision, which the City Council did by Resolution 2005-23 on April 5, 2005.

Current Zoning Code

In 2007 the City of Greenfield adopted a new zoning code to replace the code in effect when the Planned Unit Development for the Sandoval Subdivision was approved by the City Council. The City's 2007 Zoning Code designated the area in which this subdivision is located as Multiple Family Residential (R-M). This remains the current zoning designation for this area.

The current zoning code includes provisions for the creation of planned developments to provide the opportunity for unique and imaginative planning standards and regulations not provided through the application of standard zoning districts. Planned developments contain land use regulations and development standards that replace certain provisions of the zoning code, and where no specific standard is set forth in the planned development, the applicable provisions of the zoning code shall govern.

The development standards for the Multiple Family Residential district (R-M), section 17.30.040 of the zoning code, currently provide for a front yard setback of 10 feet. This represented a significant reduction from the 15 foot setback requirement of the pre-2007 zoning code. Under the current code, a planned development is not required to allow a front yard setback of 10 feet in the Multiple Family Residential district.

Section 17.16.110 of the zoning code authorizes the Planning Director to approve minor modifications to an existing planned development if the modifications substantially conform with the plans or standards approved by the hearing body, the intensity of the use is not increased, and the appearance and function of the total development and the surrounding development will not be adversely affected as a result of such modification. Such minor modifications by the Planning Director are final and review or approval by the Planning Commission or City Council is not required.

Existing Development

Jose Gonzalez has submitted an application for design review for a single-story, single-family residential design for construction within the Sandoval Subdivision on Don Vicente Drive in the City of Greenfield. This subdivision was previously reviewed and approved by both the Planning Commission and the City Council. A Subdivision Improvements Agreement between the City and Jerry Sandoval, the previous property owner and developer, was executed in 2004, the City Council adopted a Negative Declaration and approved a Planned Unit Development and Tentative Map for this subdivision in 2005 (Resolution 2005-23), and a Final Map was recorded in 2006. The approved subdivision included 16 single-family homes with three two-story design types. The development agreement included a requirement that front yard setbacks be no less than 15 feet, as was consistent with the pre-2007 zoning code in effect at the time the development agreement was approved by the City Council.

Upon project approval, eight single-family, two-story homes were constructed in accordance with previous planning and development approvals and agreements. After these homes were constructed, there was no further development of the subdivision. In 2014, the remaining parcels in this subdivision were sold to Mr. Jose Gonzalez, who has since begun construction of two additional homes.

Proposed Development

The approved Sandoval Subdivision includes three, two-story residential design styles. Mr. Gonzalez is proposing to introduce a fourth, single-story home design into this subdivision. This design is for a 1,757 square foot single-story home with a 458 square foot attached two-car garage. The design includes a living room/dining room, kitchen with breakfast nook, four bedrooms, two full bathrooms, and attached two-car garage with laundry facilities. Two additional on-site uncovered parking spaces are also provided.

The enclosed garage is oriented parallel to Don Vicente Drive, with the garage door perpendicular to the street. The paved driveway is designed to accommodate additional parking for two vehicles. With the smaller lot sizes previously approved for this subdivision, the orientation of the garage in this manner is required to enable a single-story design.

The introduction of a single-story residential design into this subdivision introduces an additional variety of housing types and design styles. Section 17.30.020 of the Greenfield Municipal Code states that the Multiple Family Residential (R-M) district is intended to accommodate higher density single-family residential neighborhoods, accommodate a variety of housing types, and

allow significant design flexibility to encourage a broad range of housing types. The introduction of a single-story residential design into this subdivision is consistent with the stated purposes of this zoning district. Aesthetically, additional design variety will be incorporated into this subdivision and an additional housing type will be provided. The exterior design and the choice of materials and finishes are consistent with the character of the two-story designs approved for this subdivision and the houses already constructed along Don Vicente Drive.

Section 17.30.040 of the zoning code provides for a minimum front setback of 10 feet. The single-story site plan proposed by Mr. Gonzalez conforms to this minimum setback requirement. This is, however, a reduction from the 15 foot front setback required by the pre-2007 zoning code and repeated in the PUD approved for this subdivision. Under the authority granted to the Planning Director by section 17.16.110 of the zoning code, the PUD shall be modified to allow a 10 foot front setback, consistent with current zoning regulations.

PROJECT ANALYSIS

CONFORMANCE WITH GENERAL PLAN AND ZONING CODE

Land Use: The City of Greenfield general plan land use designation for this site is Medium Density Residential with a zoning code designation as Multiple Family Residential (R-M).

Lot Coverage: The PUD for this subdivision authorizes 16 residential lots ranging from 4,346 square feet to 7,205 square feet. Section 17.30.040 of the zoning code specifies maximum lot coverage of 60%. The proposed single-story design will be constructed on an existing and approved lot. Total proposed enclosed and covered space is 2,264 square feet, for lot coverage of 50%.

Lot Dimensions: The PUD authorizes lot widths ranging from 53 feet to 106 feet. The proposed single-story design is on a lot with a width of 55 feet.

Height: Section 17.32.040 of the zoning code imposes a maximum height of the structure of 35 feet. The proposed single-family design has a maximum exterior elevation of 17'-7".

Setback: Required minimum setbacks per section 17.30.040 of the zoning code are: Front setback – 10 feet; side setback – 10 feet to street side, 5 feet interior setback; rear setback – 10 feet for single-story. Setbacks of the proposed design are 5'-0" and 6'-2" to the side property lines, 10'-0" to the rear property line, and 10'-0" to the garage. The proposed design orients the enclosed garage perpendicular to Don Vicente Drive, with sufficient paved area and driveway to accommodate the parking of two vehicles in the driveway without encroaching onto any public right-of-way. A minimum 10 foot separation can be maintained between a parked vehicle and the public sidewalk, the same as for the two-story designs. The exterior of the garage is setback 10 feet from the property line, consistent with the setback requirements of the zoning code.

Accessory Structures: The proposed site plan does not indicate any accessory structures will be included in the project. The requirements of chapter 17.46, Accessory Structures, of the zoning code do not, therefore, apply.

Fences and Walls: Fences between adjoining properties will be constructed in accordance with the requirements of chapter 17.52, Fences and Walls, of the zoning code.

Landscaping: Landscaping will be provided in accordance with the PUD and chapter 17.54 of the zoning code

Resource Efficiency: The resource efficiency standards of chapter 17.55 of the zoning code do not apply to residential projects with a total livable area less than 5,000 square feet.

Lighting: The outdoor lighting requirements of chapter 17.56 of the zoning code do not apply to single-family residential construction.

Parking: Section 17.58.050 of the zoning code requires a minimum of two covered/enclosed and two uncovered off-street parking spaces be provided for all single-family residential construction. The proposed project includes a two-car enclosed garage along with space for two uncovered parking spaces. The proposed project meets the minimum off-street parking requirements of the zoning code. It also conforms to the requirements of the PUD.

Signage: The proposed project does not include any exterior signage. The requirements of chapter 17.62 of the zoning code do not, therefore, apply.

DESIGN FEATURES

Exterior Material: The proposed exterior finish of the new residence is stucco. The roofing material is composition asphalt shingles.

Doors and Windows: Exterior doors are solid core. Windows are double pane, vinyl sliders. Double pane, vinyl sliding doors are provided to the back yard/patio area from the master bedroom and the kitchen/breakfast nook area.

Roofline Detail: A sloped roof with a 5:12 pitch, 2'-0" overhang, and asphalt composition shingles is proposed.

HVAC: The furnace is located in the attic space above the garage. Air conditioning is not proposed.

CEQA

An Initial Study and Negative Declaration were previously prepared for this subdivision in conformance with the State CEQA statutes and guidelines. The Negative Declaration was adopted by the City Council on April 5, 2005. The proposed single-story design review does not grant any additional entitlement for use of any parcel within this subdivision. Further environmental review is not, therefore, necessary.

RECOMMENDATION

This design review application for a single-story design is for a previously approved and partially built subdivision. In 2004 and 2005 the City Council executed a Subdivision Improvements Agreement for this subdivision, adopted a Negative Declaration, and approved a Planned Unit Development, Tentative Map, and Final Map for this subdivision. Those approvals included three, two-story design styles. The current design review application is to approve the introduction of an additional design style for a single-story residential unit.

The proposed single-story design style is consistent with the objectives of the general plan. The proposed design style complies with previous City Council approvals and authorizations and complies with applicable zoning code requirements, including design guidelines and improvement standards adopted by the City. The proposed architecture and site layout is of a typical single-family residence. The design, including its stucco exterior and sloped composition asphalt roof is the same type of architecture of the homes previously built in this subdivision and of the homes currently under construction. A single-story design style will introduce additional variety to this subdivision and will be consistent with the character and appearance of the neighborhood and the community. The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, and building materials establish a clear design concept and is compatible with the character of other single-family residences in this same subdivision. It is recommended that the Planning Commission approve this design review application.

PLANNING COMMISSION ACTION

1. Discussion/Action – Consider the proposed project, and approve, conditionally approve, or deny the proposed design review application. The Planning Commission may require that the applicant modify its plans in whole or in part, and may condition design review approval to ensure inclusion of specific design features, use of specific construction materials, or conformance with applicable provisions of the City of Greenfield Zoning Code.
2. Adopt Attached Resolution.

PROPOSED MOTION

I MOVE THAT THE PLANNING COMMISSION ADOPT RESOLUTION 2015-06 GRANTING DESIGN REVIEW APPROVAL FOR A SINGLE-STORY SINGLE-FAMILY RESIDENCE IN THE SANDOVAL SUBDIVISION LOCATED ON DON VICENTE DRIVE.

Attachments:

Attachment A – Site Photos

Attachment B – Drawings

Attachment C – Conditions of Approval (Resolution 2005-23)

**CITY OF GREENFIELD PLANNING COMMISSION
RESOLUTION NO. 2015-06**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
GREENFIELD GRANTING DESIGN REVIEW APPROVAL FOR A
SINGLE-STORY SINGLE-FAMILY RESIDENCE IN THE SANDOVAL
SUBDIVISION LOCATED ON DON VICENTE DRIVE**

WHEREAS, the Sandoval Subdivision on Don Vicente Drive in the City of Greenfield has been previously reviewed and approved by both the Planning Commission and the City Council: a Subdivision Improvements Agreement between the City and Jerry Sandoval, the previous property owner and developer, was executed in 2004, the City Council adopted a Negative Declaration and approved a Planned Unit Development and Tentative Map for this subdivision in 2005 (Resolution 2005-23), and a Final Map was recorded in 2006; and

WHEREAS, the approved Sandoval Subdivision included 16 single-family homes with three two-story design types; and

WHEREAS, an application has been submitted to the City of Greenfield for design review approval for a single-story single-family residence in the Sandoval Subdivision; and

WHEREAS, Section 17.10.040 of the City of Greenfield zoning code designates the Planning Commission as the approving authority for design review; and

WHEREAS, Section 17.16.070 of the City of Greenfield zoning code requires design review for all single-family residential development; and

WHEREAS, the Planning Commission shall approve, conditionally approve, or deny the proposed design review application in accordance with the requirements of section 17.16.070 of the City of Greenfield zoning code; and

WHEREAS, the Planning Commission shall grant design review approval only after making certain designated findings as set forth in Section 17.16.070 of the City of Greenfield zoning code; and

WHEREAS, the application for design review was heard by the Planning Commission at a public meeting; and

WHEREAS, the Planning Director has approved minor modification to the existing Planned Unit Development to allow a front setback consistent with current zoning requirements;

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the Planning Commission of the City of Greenfield has considered all written and verbal evidence regarding this design review application at the public meeting and has made the following findings regarding the proposed development:

1. FINDING: That the proposed development is consistent with the objectives of the general plan, complies with applicable zoning regulations, specific plan provisions, planned unit development provisions, applicable city design guidelines, and improvement standards adopted by the city.
 - A. The location of the proposed single-family development is in the Multiple Family Residential (R-M) zoning district that allows for higher density single-family development and a variety of housing types.
 - B. The Planning Commission and the City Council have previously reviewed and approved this subdivision, including the approval of a Subdivision Improvements Agreement, adoption of a Negative Declaration, and approval of a Planned Unit Development, Tentative Map, and Final Map for this subdivision
 - C. The building and site plans indicate the new single-story single-family residence will conform to applicable zoning regulations.
2. FINDING: That the proposed architecture and site design are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and the community.
 - A. Exterior elevations and detailing are similar to or compatible with existing homes in the subdivision and those currently under construction.
 - B. The introduction of a single-story single-family residential design will introduce an additional design style and housing type into a partially built subdivision, thereby adding to and enhancing the character of the residential neighborhood.
3. FINDING: That the architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, and similar elements, establishes a clear design concept and is compatible with the character of single-family residences on adjoining and nearby properties.
 - A. The architecture of the single-story single-family residence, its scale, relationship with the site and neighboring residences, and building materials is similar to or compatible with other single-family residences in the same subdivision.
4. FINDING: That the proposed project addresses vehicular transportation modes of circulation.
 - A. Two on-site enclosed parking spaces and two uncovered parking spaces are provided as required by the zoning code.
5. FINDING: That for specific plans and planned unit development design review application, the proposed project is well integrated with the city's street network, creates

unique neighborhood environments, employs architectural design that fosters sense of community, and contributes to a pedestrian oriented environment.

- A. The existing Sandoval Subdivision is partially constructed and Don Vicente Drive, the street around which this subdivision is located, is directly connected to Elm Avenue and the City's street network.
- B. The introduction of a single-story single-family residential design style into this subdivision will introduce an additional design style and housing type into a partially built subdivision, thereby adding to and enhancing the character of the residential neighborhood and creating a unique neighborhood environment.
- C. The architectural style and its use of materials and finishes are similar to the homes previously built in this subdivision, and those of the homes currently under construction. The construction of additional single-family residences in this approved and partially constructed subdivision will complete the subdivision neighborhood.

BE IT FURTHER RESOLVED that the Planning Commission hereby grants design review approval for a single-story single-family residence in the Sandoval Subdivision located on Don Vicente Drive in the City of Greenfield, subject to the Conditions of Approval previously approved by the City of Greenfield City Council on April 5, 2005, by Resolution 2005-23.

PASSED AND ADOPTED by the Planning Commission of the City of Greenfield, at a public meeting of the Planning Commission held on the 1st day of September 2015, by the following vote:

AYES, and all in favor, therefore, Commissioners:

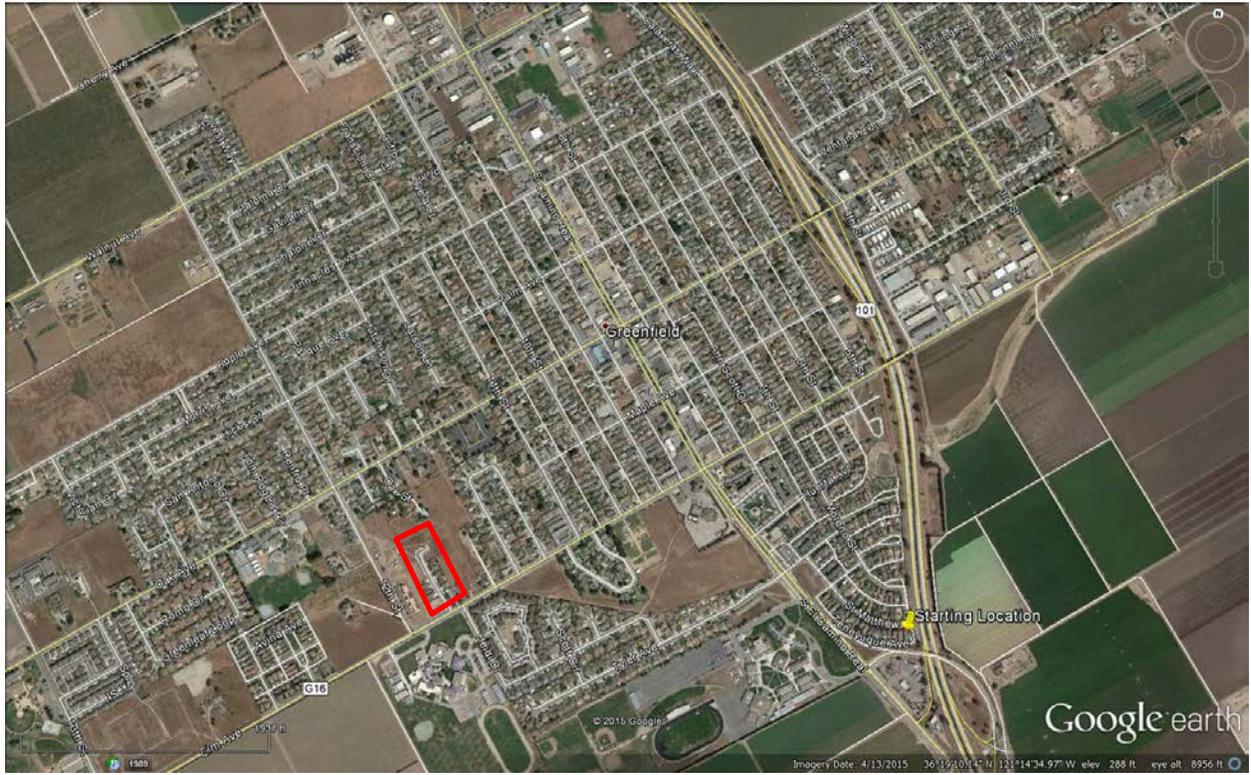
NOES, Commissioners:

ABSENT, Commissioners:

Drew Tipton, Chairperson
Planning Commission

Desiree Gomez, Secretary
Planning Commission

Attachment A Site Photos





Attachment B
Drawings

PLAN NOTE:

During winter operations (between October 15 and April 15), the following measures must be taken:

- a) Disturbed surfaces not involved in the immediate operations must be protected by mulching and/or other effective means of soil protection.
- b) All roads and driveways shall have drainage facilities sufficient to prevent erosion on or adjacent to the roadway or on the downhill properties.
- c) Runoff from the site shall be detained or filtered by berms, vegetated filter strips, and/or catch basins to prevent the escape of sediment from the site.
- d) Drainage control measures shall be maintained and in place at the end of each day and continuously throughout the life of the project during winter operations. [Monterey County Grading/Erosion Ord. 2806 - 16.12.090]

GREEN BUILDING NOTE:

THIS PROJECT SHALL COMPLY WITH THE 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC) AND CURRENT EDITION

PLAN NOTE:

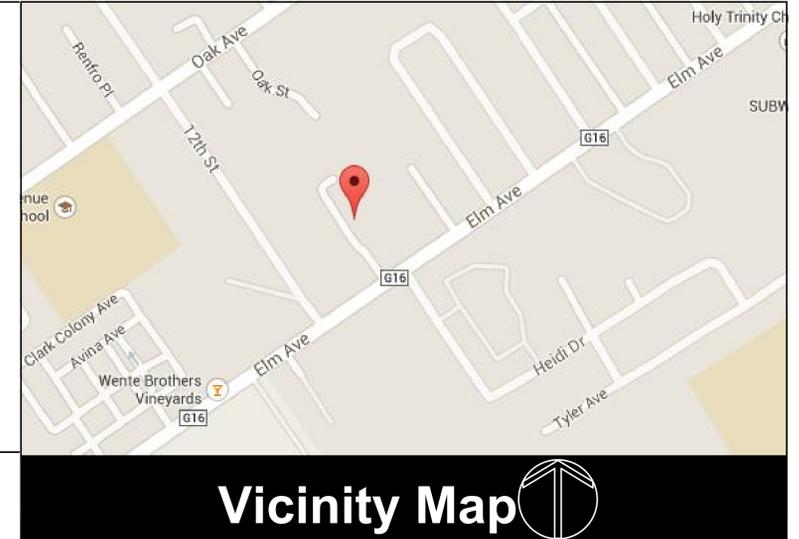
“ALL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA CODE OF REGULATIONS, TITLE 24. UPDATE ALL NOTES ON THE PLANS TO BE CONSISTENT WITH THE 2013 CRC. THIS INCLUDES TYPE OF CONSTRUCTION, OCCUPANCY, ALLOWABLE AREA, MEANS OF EGRESS, ETC. [§ R106.1.1 CRC]

ROOF TRUSS DEFERRAL SUBMITAL CONTRACTOR TO SUBMIT CALC'S AND DESIGNS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO MANUFACTURING.

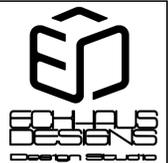
PROJECT DATA:	
ZONING	R-1
DESCRIPTION OF USE	RESIDENTIAL
OCCUPANCY	R-3/U
NUMBER OF STORIES	1
TYPE OF CONSTRUCTION	V-B
SPRINKLER SYSTEMS	YES
<N> RESIDENCE	1,757 sf.
<N> PORCH	49.5 SF.
<N> GARAGE	458 SF.
MAX HIGHT	17'-7"
LOT AREA	4510 SF.
OPEN SPACE	2,246 sf.
LOT COVERAGE	50%

SCOPE OF WORK:

NEW SFD 1757 SF. PORCH 49.5 AND 458 SF. GARAGE



Vicinity Map



ENRIQUE ECKHAUS OIL
 P.O. BOX 783 - SALINAS, CA 93902
 PH (831) 704-2461
 FX (831) 287-0121
 eckhaus@pacbell.net
 eckhaus@gmail.com

OWNER:
GONZALEZ CARMELO

PROJECT:
SAN NICOLAS DON VICENTE DR. GREENFIELD, CA

- CODES:
 CBC 2013
 Title 24 Part 2
 CRC 2013
 Title 24 Part 2.5
 CEC 2013
 Title 24 Part 3
 CMC 2013
 Title 24 Part 4
 CPC 2013
 Title 24 Part 5
 CEC 2013
 Title 24 Part 6
 CFC 2013
 Title 24 Part 9
 CALGreen 2013
 Title 24 Part 11

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 A1 ELEVATIONS
 A2 FLOOR PLAN
 S1 FOUNDATION P.
 S1 ROOF FMG. P.
 S10 S11
 S12
 S13
 S15 STRUCTURALS
 TILE 24(ENERGY'S)

- REVISIONS
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 - 3
 - 4
 - 5

DATE: JUNE-19-2014
 DRAWN: E.ECKHAUS/F.BALDERAS
 JOB: 2014-031

SHEET:

A1-1

2013 CALGREEN RESIDENTIAL MANDATORY MEASURES (Includes significant changes from 2010 CALGREEN)			
2013 CALGREEN CODE Effective January 1, 2014			
SECTION	MEASURES	2013 CALGREEN REQUIREMENTS AND CHANGES FROM 2010 CALGREEN	
101.3.1	State-regulated buildings	REVISED: Expands the scope of CALGreen to include ALL low-rise, high-rise, and hotel/motel buildings of Group R occupancy.	
202	Definitions	NEW: Revises all definitions to Chapter 2. Other chapters include only defined terms and a reference to Chapter 2. REVISED: Modifies "residential building" to include "low-rise residential buildings" and "high-rise residential buildings." REVISED: Clarifies "low-rise residential building" as a Group R occupancy that is 3 stories or less and deems reference to one- or two-family dwellings or townhouses. NEW: Defines "high-rise residential building" as a Group R occupancy that is 4 stories or greater in height.	
301.1.1	Additions and alterations	NEW: Clarifies that mandatory measures in Chapter 4 apply to additions or alterations of residential buildings and specifies that requirements only apply to the specific area of the addition or alteration. NEW: Adds a note directing code users to review Civil Code, Section 1101.1 et seq., regarding mandatory replacement of non-compliant plumbing fixtures.	
301.2	Low-Rise and High-Rise Residential Buildings	NEW: Clarifies that CALGreen may apply to either low-rise or high-rise residential buildings or both. NEW: New "barriers" [LR] and [HR-1] as identifying provisions applying only to low-rise or high-rise residential structures, respectively.	
4.106.2	Storm Water Drainage and Retention During Construction	NO CHANGE FROM 2010 CALGREEN: Projects which disturb less than one acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction. NO CHANGE FROM 2010 CALGREEN: Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. NEW EXCEPTION: Revision provides an exception for additions and alterations not altering the drainage path.	
4.106.3	Grading and Paving	NO CHANGE FROM 2010 CALGREEN: Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. NEW EXCEPTION: Revision provides an exception for additions and alterations not altering the drainage path.	
4.201.1/ 8.201.1	Scope	REVISED: Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential (Section 8.201.1) are now in both residential and nonresidential chapters of CALGreen. Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2013 California Energy Code (reference date updated from 2010 to 2013).	
4.303.1	Water Conserving Plumbing Fixtures and Fittings	REVISED: 20% reduction of water use are now prescriptively designated within CALGreen text. Prescriptions and performance mandating. Tables 4.303.1.1 and 4.303.2. NEW: Plumbing fixtures and fittings shall comply with the following: 4.303.1.1 Water Closets: 1.29 gpf/flush 4.303.1.2 Urinals: 0.5 gpf/flush 4.303.1.3 Single Showerheads: 2.0 gpm @ 80 psi 4.303.1.3.2 Multiple Showerheads: combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gpm @ 80 psi or only one shower outlet to be in operation at a time 4.303.1.4 Residential Laundry Faucets: 1.5 gpm @ 60 psi 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas of Residential Buildings: 0.5 gpm @ 60 psi 4.303.1.4.3 Misting Faucets: 0.25 gallons per cycle 4.303.1.4.4 Kitchen Faucets: 1.8 gpm @ 60 psi, temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm	
4.303.2	Standards for Plumbing Fixtures and Fittings	REVISED: Specifies that plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code. REVISED: Revises provisions for multiple showerheads to Section 4.303.1.3.2. REPEALED: Table 4.303.2 "Standards for Plumbing Fixtures and Fittings." Code users are directed, in Section 4.303.2, to the California Plumbing Code for applicable reference standards.	
4.304.1	Irrigation Controllers	NO CHANGE FROM 2010 CALGREEN: Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following: 1- Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plant watering needs as weather or soil conditions change. 2- Weather-based controllers without integral rain sensors or communication systems that account for rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s).	

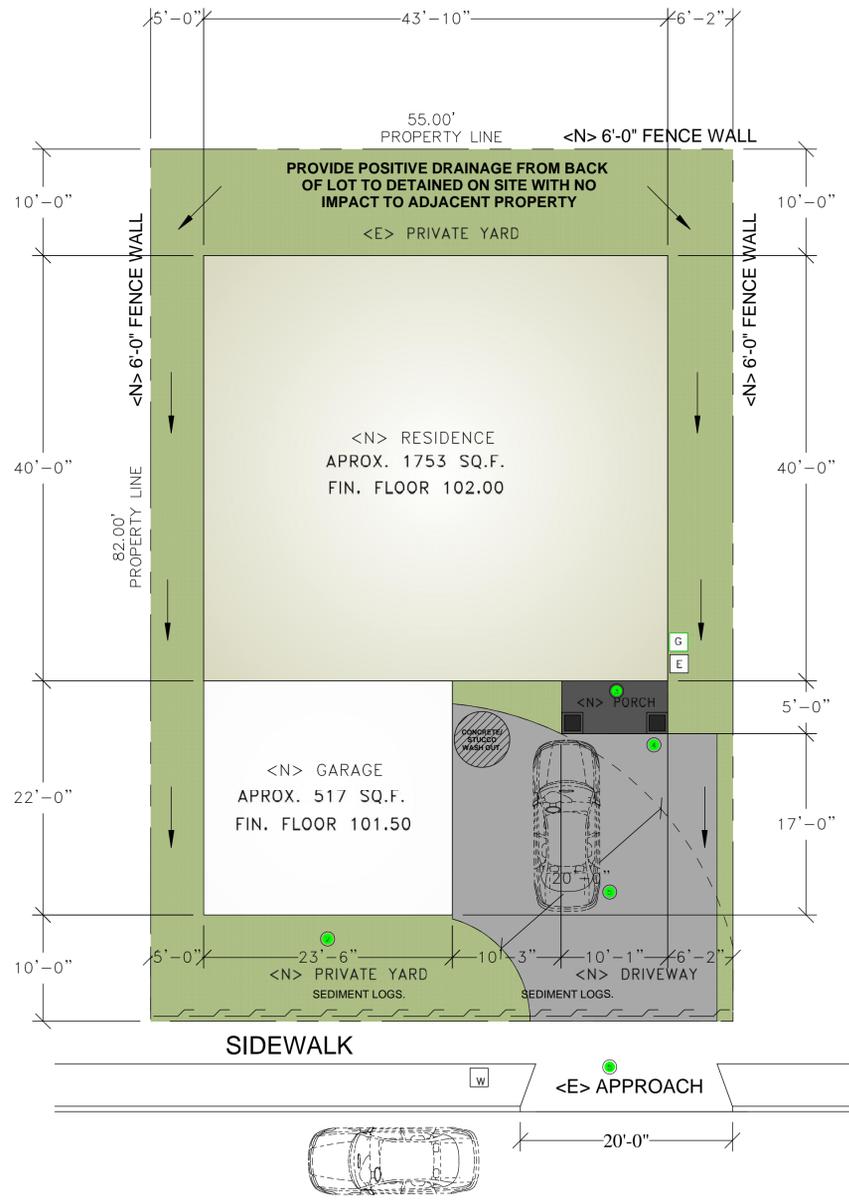
2013 CALGREEN RESIDENTIAL MANDATORY MEASURES (Includes significant changes from 2010 CALGREEN)			
2013 CALGREEN CODE Effective January 1, 2014			
SECTION	MEASURES	2013 CALGREEN REQUIREMENTS AND CHANGES FROM 2010 CALGREEN	
4.406.1	Roofing	REVISED: Specifies the areas needing roofer proofing are solebottom plates. Annular spaces around pipes, electric cables, conduits, or other openings in solebottom plates at exterior walls shall be closed with cementitious concrete masonry or a similar method acceptable to the enforcing agency to prevent leakage of water.	
4.408.1	Construction Waste Reduction of at least 50%	NO CHANGE FROM 2010 CALGREEN: Recycle and/or salvage for reuse a minimum of 50% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4. OR meet or more stringent local construction and demolition waste management ordinance. Documentation is required per Section 4.408.5. EXCEPTIONS: 1- Excavated soil and land-clearing debris. 2- Alternate waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3- The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.	
4.408.2	Construction Waste Management Plan	NO CHANGE FROM 2010 CALGREEN: Submit a construction waste management plan meeting items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction.	
4.408.3	Waste Management Company	NO CHANGE FROM 2010 CALGREEN: Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.	
4.408.4	Waste Stream Reduction Alternative	4.408.4: Generate a total combined weight of construction and demolition waste disposed in landfills that is equal to or less than 4 pounds per square-foot of the building area. NEW: 4.408.4.1 [HR-1] Generate a total combined weight of construction and demolition waste disposed in landfills that is equal to or less than 2 pounds per square-foot of the building area.	
4.410.1	Operation and Maintenance Manual	NO CHANGE FROM 2010 CALGREEN: At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building.	
4.503.1	General	NO CHANGE FROM 2010 CALGREEN: Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.	
4.504.1	Covering of Duct Openings and Protection of Mechanical Equipment During Construction	NO CHANGE FROM 2010 CALGREEN: At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.	
4.504.2.1	Adhesives, Sealants and Caulks	NO CHANGE FROM 2010 CALGREEN: Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 4.504.1 or 4.504.2, as applicable. Such products shall also comply with Rule 1168 prohibition on the use of certain toxic compounds (toluene, xylene, dichloroethane, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in Subsection 2 below. 2- Aerosol adhesives, and smaller unit cans of adhesives, and sealant or caulking compounds (in units of product, less packaging), which do not weigh more than 1 pound and do not consist of more than 15 fluid ounces) shall comply with state-wide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of the California Code of Regulations, Title 17, commencing with Section 94007.	

2013 CALGREEN RESIDENTIAL MANDATORY MEASURES (Includes significant changes from 2010 CALGREEN)			
2013 CALGREEN CODE Effective January 1, 2014			
SECTION	MEASURES	2013 CALGREEN REQUIREMENTS AND CHANGES FROM 2010 CALGREEN	
4.504.2.2	Paints and Coatings	NO CHANGE FROM 2010 CALGREEN: Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.	
4.504.2.3	Aerosol Paints and Coatings	NO CHANGE FROM 2010 CALGREEN: Aerosol paints and coatings shall meet the Product-Weighted MTR Limits for VOC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Section 94522(c)(2) and (c)(2) of the California Code of Regulations, Title 17, commencing with Section 94520 and in areas under the jurisdiction of the Bay Area Air Quality Management District that additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.	
4.504.3	Carpet Systems	NO CHANGE FROM 2010 CALGREEN: All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1- Carpet and Rug Institute's Green Label Plus Program. 2- California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). 3- NSF/ANSI 140 at the Gold level 4- Scientific Certification Systems Indoor Advantage™ Gold	
4.504.3.1	Carpet Cushion	NO CHANGE FROM 2010 CALGREEN: All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Program.	
4.504.3.2	Carpet Adhesive	NO CHANGE FROM 2010 CALGREEN: All carpet adhesives shall meet the requirements of Table 4.504.1. REVISED: Compliance rate of resilient flooring is increased from 50% to 80%. Related changes are made for Tier 1 and Tier 2 resilient flooring measures. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following: 1- VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2- Products compliant with CHPS criteria certified under the GreenGuard Children & Schools program. 3- Certification under the Resilient Floor Covering Institute (RFCI) floorcover program. 4- Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).	
4.504.5	Composite Wood Products	NO CHANGE FROM 2010 CALGREEN FOR 4.504.5. Referenced Table 4.504.5 has been revised to delete obsolete compliance dates. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.) on or before the dates specified in those sections as shown in Table 4.504.5. Documentation is required per Section 4.504.5.1.	
4.505.2	Concrete Slab Foundations	NO CHANGE FROM 2010 CALGREEN: Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 10, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.	
4.505.2.1	Capillary Break	NO CHANGE FROM 2010 CALGREEN: A capillary break shall be installed in compliance with at least one of the following: 1- A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curing shall be used. For additional information, see American Concrete Institute, ACI 302.2R-08. 2- Other equivalent methods approved by the enforcing agency. 3- A slab design specified by a licensed design professional.	

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2013 CALGREEN CODE Effective January 1, 2014			
SECTION	MEASURES	2013 CALGREEN REQUIREMENTS AND CHANGES FROM 2010 CALGREEN	
4.505.3	Moisture Content of Building Materials	NO CHANGE FROM 2010 CALGREEN: Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: 1- Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equipment moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 1011.8. 2- Moisture readings shall be taken at a point 2 inches (50 mm) to 4 feet (1219 mm) from the grade-stamped end of each piece to be verified. 3- At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.	
4.506.1	Bathroom Exhaust Fans	NO CHANGE FROM 2010 CALGREEN: Each bathroom shall be mechanically ventilated and shall comply with the following: 1- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a) Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of less than 50% to a maximum of 80%. b) A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. Note: For CALGreen a "bathroom" is a room which contains a bathtub, shower, or tub/shower combination. Fans are required in each bathroom.	
4.507.1	Reserved	REPEALED: Section 4.507.1 Openings (for whole house fans) has been repealed. There is no substitute language.	
4.507.2	Heating and Air Conditioning System Design	NO CHANGE FROM 2010 CALGREEN: Heating and air conditioning systems shall be sized, designed, and equipment selected using the following methods: 1- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2004 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2- Duct systems are sized according to ANSI/ACCA 1 Manual D - 2009 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 3- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2004 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.	
702.1	Installer Training	NO CHANGE FROM 2010 CALGREEN: HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1- State certified apprenticeship programs. 2- Public utility training programs. 3- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4- Programs sponsored by manufacturing organizations. 5- Other programs acceptable to the enforcing agency.	
702.2	Special Inspection	NO CHANGE FROM 2010 CALGREEN: Special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.	
703.1	Documentation	NO CHANGE FROM 2010 CALGREEN: Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, bulker or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.	

Acknowledgment: This document is an updated version of an original checklist prepared by the California Building Industry Association for summarizing the 2010 CALGreen's mandatory measures for low-rise residential structures. This checklist includes CALGreen provisions effective January 1, 2014, covering all residential buildings and notations for sections revised or updated for the 2013 CALGreen.
 Note: This document is only a summary of the mandatory measures in the 2013 CALGreen. Users should refer to the most recent version of the 2013 CALGreen code for additional details and complete requirements.

FINISH GRADE AROUND THE ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 6 INCHES OVER 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED 2% MINIMUM AWAY FROM THE BUILDING. INCLUDE A NOTE ON THE SITE PLAN [§ R401.3 CRC]



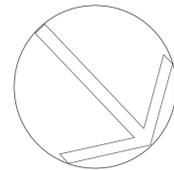
**SAN NICOLAS
 DON VIVENTE DR.**

SITE PLAN

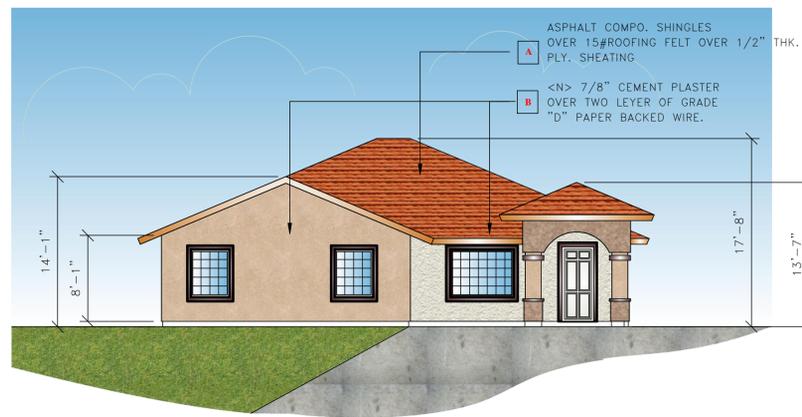
SCALE: 1/8" = 1'-0"

W <N> WATER METER. CONNECTION PER COUNTY STANDARD. **E** <N> 200 AMP. ELECT. PANEL. UFER GROUNDING-CONCRETE ENCASED ELECTRODE. NEC-250-81 (C). REQ'D. **G** <N> GAS METER. CONNECTION PER COUNTY STANDARD.

THE FEDERAL CLEAN WATER ACT DIRECTS CITIES TO CONTROL THE VOLUME AND QUALITY OF WATER BEING DISCHARGED INTO THEIR STORM DRAIN SYSTEMS. WATER MUST BE DETAINED ON SITE OR DRAINED THROUGH A LANDSCAPED AREA TO SLOW ITS TRAVEL AND ALLOW IT AN OPPORTUNITY TO RECHARGE THE GROUNDWATER. A SPLASH BLOCK AT THE END OF THE DOWNSPOUT TO DIRECT STORM WATER AWAY FROM THE FOUNDATION

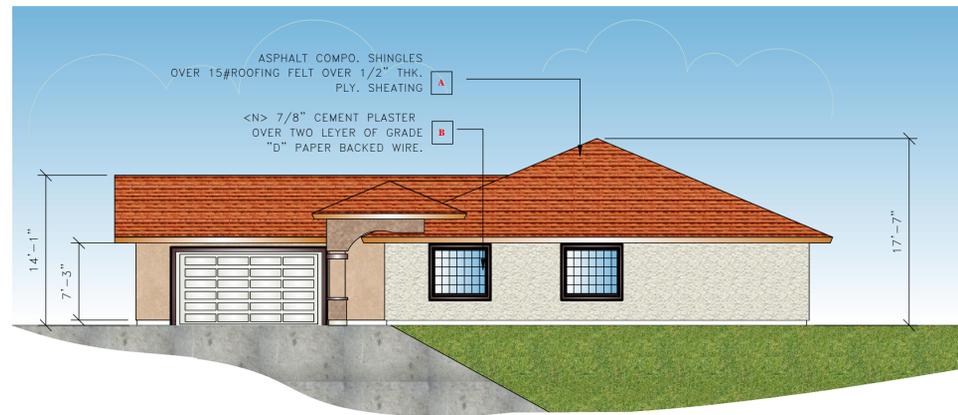


NO TREES TO BE REMOVED
 THE PROPOSED AREA IS FLAT NO GRADING NEED



FRONT ELEVATION

SCALE: 1'-0" = 1/8"



RIGHT ELEVATION

SCALE: 1'-0" = 1/8"



LEFT ELEVATION

SCALE: 1'-0" = 1/8"



REAR ELEVATION

SCALE: 1'-0" = 1/8"

PLAN NOTES:

- ADDRESS NUMBERS TO BE POSTED PER CITY STANDARDS.
- APPROVED NUMBERS AND/OR LETTERS SHALL BE PLACED ON ALL BUILDINGS TO BE VISIBLE FROM THE STREET CONTRASTING TO BACKGROUND. "6 INCHES HIGH X 3/4" STROKE"
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN THE CONSTRUCTIONS ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUBPOTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- ALL SITE INSPECTION REQUIRE A MINIMUM 24 HOURS NOTICE.
- SURFACE WATER, WILL BE DRAIN AWAY FROM EACH STRUCTURE IN EACH LOT.
- *ANY NEW SERVICE, UPGRADE AND/OR RELOCATION MUST BE APPROVED BY PG&E.

6" HEIGHT X 3/4" WIDTH



ENRIQUE ECKHAUS GIL.
 P.O. BOX 783 - SALINAS, CA 93902
 PH: (831) 794-2461
 FX: (831) 287-0121
 eckhaus@pacbell.net
 eckhaus@gmail.com

OWNER:
**GONZALEZ
 CARMELO**

PROJECT:

**SAN NICOLAS
 DON VICENTE DR.
 GREENFIELD, CA**

CODES:
 CBC 2013
 Title 24 Part 2
 CRC 2013
 Title 24 Part 2.5
 CEC 2013
 Title 24 Part 3
 CMC 2013
 Title 24 Part 4
 CPC 2013
 Title 24 Part 5
 CEEC 2013
 Title 24 Part 6
 CFC 2013
 Title 24 Part 9
 CALGreen 2013
 Title 24 Part 11

INDEX PLANS:

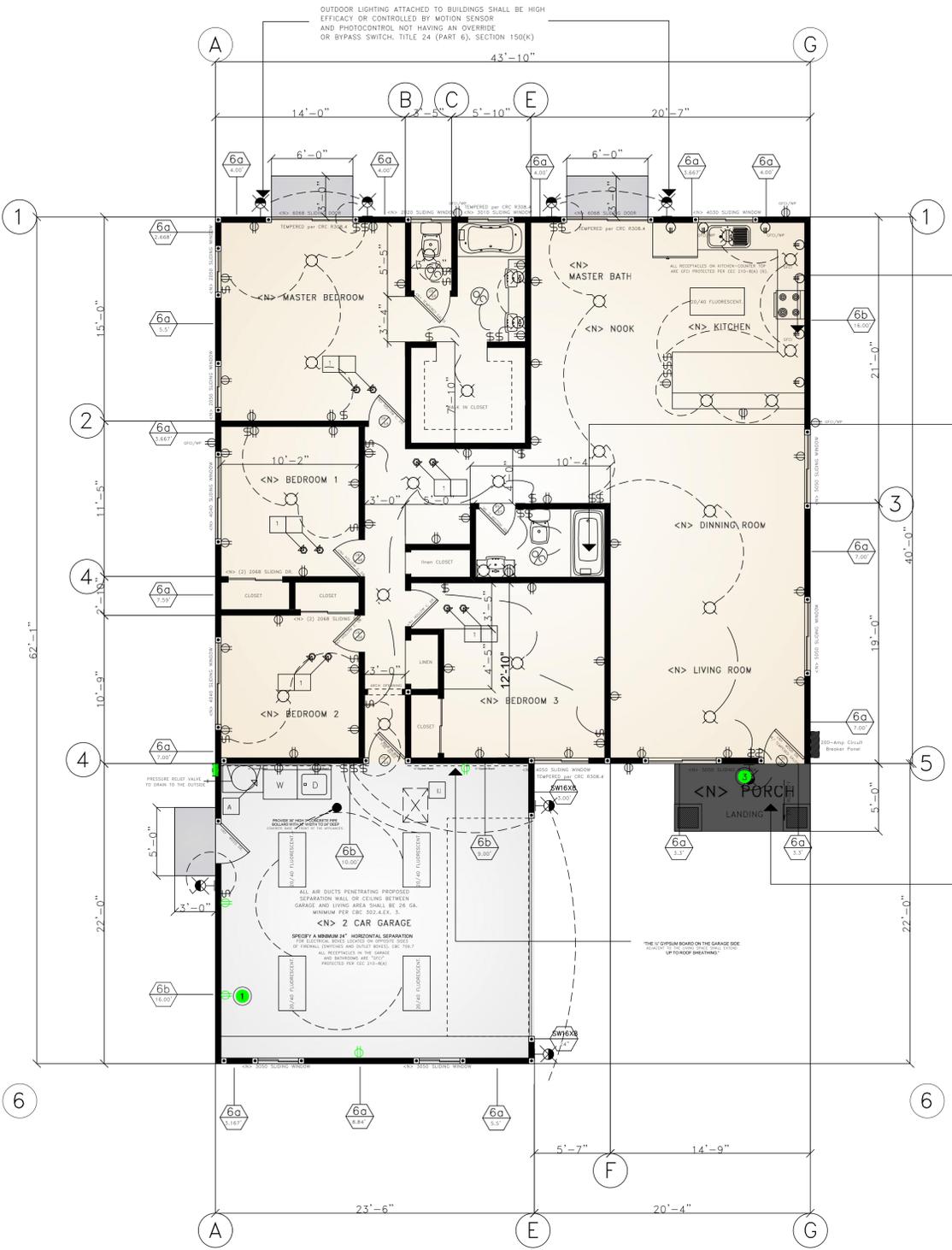
A1-1	NOTES
A1	SITE PLAN
A1	ELEVATIONS
A2	FLOOR PLAN
S1	FOUNDATION P.
S1	ROOF FMG. P.
S10	FOUNDATION P.
S11	FOUNDATION P.
S12	FOUNDATION P.
S13	FOUNDATION P.
S15	STRUCTURALS
TILE 24(ENERGY'S)	

REVISIONS

DATE
 JUNE-19-2014
 DRAWN
 E.ECKHAUS/F.BALDERAS
 JOB
 2014-031

SHEET

A1



FLOOR PLAN

SCALE: 3/16" = 1'-0"

RESIDENTIAL VOLUNTARY MEASURES
 34.1 CUMULATIVE A4.303
 INDOOR WATER USE
 A4.303.1 Kitchen faucets and dishwashers. Kitchen faucets and dishwashers in tier 1 and tier 2 buildings shall comply with this section.
 Tier 1: The maximum flowrate at a kitchen sink faucet shall not be greater than 1.5 gallons per minute of 60 psi. Note: Water flowrate for the default function of the faucet shall be used to demonstrate compliance with this section.
 Tier 2: In addition to the kitchen faucet requirements for tier 1, dishwashers on tier 2 buildings shall be UL-listed 3.8A, qualified and not use more than 3.5 gallons of water per cycle.

SECTION 4.06 ENHANCED DURABILITY AND REDUCED MAINTENANCE
4.06.1 Joints and openings. Openings in the building envelope separating conditioned space from unconditioned space need to accommodate gas, plumbing, electrical lines and other necessary penetrations must be sealed in compliance with the California Energy Code.
 Exception: Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

Please show conformance with the following CalGreen requirements. Provide necessary notes, tables and details at most appropriate places within the plans:
 a. Automatic irrigation systems controllers installed at the time of final inspection shall be weather-based (4.504.1).
 b. Protect annular spaces around pipes, electric cables, conduits at exterior walls against the passage of rodents (4.06.1).
 c. Cover duct openings and other related air distribution component openings during construction (4.504.1).
 d. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits (4.504.2.1).
 e. Paints, stains and other coatings shall be compliant with VOC limits (4.504.2.2).
 f. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds (4.504.2.3). Verification of compliance shall be provided.
 g. Carpet and carpet systems shall be compliant with VOC limits (4.504.3).
 h. Minimum 50% of floor area receiving resilient flooring shall comply with Section 4.504.4.
 i. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. 4.504.5
 j. Install capillary break and vapor retarder at slab on grade foundations (4.505.2).
 k. Check moisture content of building materials used in wall and floor framing before enclosure (4.505.3).
 l. Provide insulated louvers/covers (min R-4.2) which close when the fan is off for the whole house exhaust fans (4.507.1)

OUTDOOR LIGHTING ATTACHED TO BUILDINGS SHALL BE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR AND PHOTOCONTROL NOT HAVING AN OVERRIDE OR BYPASS SWITCH. TITLE 24 (PART 6), SECTION 150(K)

MINIMUM NAILING SCHEDULE :

1. JOIST OR RAFTERS TO SIDES OF STUDS 8-INCH JOIST OR LESS FOR EACH ADDITIONAL 4 INCHES IN DEPTH OF JOIST	3-16d	1-16d 2-8d
2. BRIDGING TO JOIST, TOENAIL EACH END a. BLOCKING BETWEEN JOISTS OR RAFTERS - TO JOIST OR RAFTERS - TOENAILS EACH SIDE, EACH END b. BLOCKING BETWEEN STUDS, EACH END		2-10d 2-10d toenails or 2-16d
3. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL		16d at 16" o.c.
4. TOP PLATE TO STUD, END NAIL		2-16d
5. STUD TO SOLE PLATE		4-8, toenail or 2-16d, end nail
6. DOUBLE STUDS, FACE NAIL		16d at 24" o.c.
7. DOUBLED TOP PLATES, FACE NAIL		16d at 16" o.c.
8. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL		2-16d
9. CEILING JOISTS TO PLATE, TOENAIL		3-8d
10. CONTINUOUS HEADER TO STUD, TOENAIL		4-8d
11. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL		3-16d
12. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL		3-16d
13. JOIST OR RAFTERS AT ALL BEARINGS - TOENAILS, EACH SIDE		2-10d
14. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL		2-8d
15. BUILT-UP CORNER STUDS		16d at 24" o.c.

- NOTES:**
- 3x STUDS AND TOP & BOTTOM PLATES REQUIRED TYPICAL EXCEPT FOR TYPE 'A' WHERE 2x STUDS AND TOP & BOTTOM PLATES MAY BE USED. STAGGER NAILS INTO PLATES. USE 12" LONG ANCHOR BOLTS EXTENDING 4 1/2" OUT OF CONCRETE.
 - WOOD STRUCTURAL PANEL SHALL BE APPLIED OVER STUDS @ 16" O.C. ON ONE SIDE OR BOTH SIDES OF STUD PER SCHEDULE ABOVE.
 - NAILING AT INTERMEDIATE MEMBERS TO BE SPACED AT 12" O.C.
 - ALL EXTERIOR FOOTINGS SHALL HAVE SILL BOLTS PER (TYP. U.N.O.)
 - FOR OTHER NOTES AND DETAILS SEE
 - WS = WOOD SCREW, LS = LAG SCREW
 - PROVIDE W/ 3 X 3 X 0.229" PLATE WASHERS AT SILL BOLTS.
 - MINIMUM PENETRATION OF WOOD SCREWS OR LAG SCREWS INTO FIRST FLOOR TOP PLATES OR NAILER ON STEEL BEAM IS GREATER OF 8x DIAMETER OR 2 1/2".

ELECTRICAL SYMBOLS TO BE HIGH EFFICIENCY PER TILE 24 MANDATORY MEASUREMENTS

- CEILING FAN
- EXHAUST FAN
- FAN REGULATOR
- FLUORESCENT LAMP 1X40W
- FLUORESCENT LAMP 2X40W
- WALL BRACKET LIGHT
- OUTSIDE WEATHER PROOF LIGHT
- ROUND FLUORESCENT LIGHT
- CEILING MOUNTED LIGHT
- CEILING LIGHT
- BOUNDARY WALL LIGHT
- MIRROR LIGHT
- SPLIT UNIT A/C
- 13 AMP. SOCKET OUTLET G.F.C.I.
- 20 AMP. SOCKET OUTLET G.F.I. W.P.
- 45 AMP. COOKER SWITCH
- BELL PUSH
- SWITCH
- 2-WAY-SWITCH
- POWER BREAKER
- DISTRIBUTION BOARD
- CONTROL PANEL
- B.S.E.D. METER
- TELEPHONE
- TELEVISION

GENERAL NOTES:

- CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES
- WORK SHALL COMPLY WITH THE REQUIREMENTS OF 2013 C.R.C. EDITIONS OF THE CALIFORNIA BUILDING, MECHANICAL, ELECTRICAL PLUMBING, ENERGY CODES AND CITY BUILDING AND PLANNING CODES AND REGULATIONS.
- CONCRETE WORK SHALL DEVELOP A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
- REINFORCING STEEL SHALL CONFORM WITH AND GRADE 60 REINFORCING STEEL FOR RESIDENTIAL STRUCTURES ASSIGNED TO SEISMIC DESIGN CATEGORY D1, D1, OR D2.
- LUMBER SHALL BE FOLLOWS (U.O.N.)
2X6 JOIST - STUDS-DF #2 OR BETTER
BEAMS, POST, HEADERS - DF #1 OR BETTER
SILL PLATE IN CONTACT WITH CONCRETE, DF #1 OR BETTER
- NAILING SHALL BE COMMON WIRE NAILS GALVANIZED WHEN EXPOSED TO EXTERIOR SIZE SPACING & NUMBERS SHALL BE AS FOLLOW.
PLYWOOD - SEE PLANS & SECTIONS
ALL OTHERS - R402.1.1 Fasteners
- JOISTS HANGERS, SHEET METAL CLIPS AND OTHER CONNECTIONS SHALL BE MANUF. BY SIMPSON OR APPROVED EQUAL.
- ALL UNDER-FLOOR CRAWL SPACE VENT THAT ARE BLOCK DURING CONSTRUCTION SHALL BE RELOCATED TO EXTERIOR OF THE BUILDING.

LEGEND WALL

- EXISTING WALL
- NEW WALL (2X4 STUD WALL @ 16" O.C.)
- TO BE REMOVED

FLOOR PLAN NOTES:

- CARBON MONOXIDE
CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN NEW AND EXISTING DWELLING UNITS AND SLEEPING UNITS WHICH HAVE FUEL-BURNING APPLIANCES INSTALLED OR HAVE ATTACHED GARAGES. (S R315.1 CRC)
A. WHERE ALTERATIONS, REPAIRS, OR ADDITIONS TO EXISTING DWELLINGS OCCUR THAT REQUIRE A PERMIT AND EXCEED \$1000, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS. (S R315.2 CRC)
B. NOTE THE REQUIREMENTS FOR CARBON MONOXIDE ALARM/DETECTION SYSTEMS AND INSTALLATION ON THE PLANS. SINGLE- AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED TO COMPLY WITH UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED TO COMPLY WITH UL 2075. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 720 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (S R315.3 CRC)
C. IN EXISTING DWELLING UNITS, THE CARBON MONOXIDE ALARMS MAY BE SOLELY BATTERY-OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED WHERE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC BATTERY OR CRAWL SPACE, AND WHERE NO PREVIOUS METHOD FOR INTERCONNECTION EXISTED. (S R315.1.1, 315.1.2 CRC EXCEPTIONS)
D. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. SHOW ALARM LOCATIONS ON THE PLANS. (S R315.3 CRC)
E. SMOKE ALARMS SHALL BE HARD-WIRED AND EQUIPPED WITH A BATTERY BACKUP. IN EXISTING DWELLING UNITS, THE SMOKE ALARMS MAY BE SOLELY BATTERY-OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED WHERE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE, OR BASEMENT WHICH COULD PROVIDE ACCESS FOR BUILDING WIRING WITHOUT REMOVAL OF INTERIOR FINISHES. (S R314.4 CRC EXCEPTION)
F. SMOKE ALARMS SHALL BE INTERCONNECTED. IN EXISTING DWELLING UNITS, THE SMOKE ALARMS MAY BE SOLELY BATTERY-OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED WHERE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE, OR BASEMENT WHICH COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT REMOVAL OF INTERIOR FINISHES. (S R314.5 CRC EXCEPTION)
G. NEW FLUOR LIGHT FIXT. AND PROVIDE NEW 50 C.F.M. 5 AIR FAN SWITCHES TO LIGHT @ <N> BATH. LOW FLOW TOILETS (1.6 GALLON FLUSH), SHOWERHEADS (2.5 GPM), AND FAUCETS (2.2 GPM).
OPTIONAL BATHTUB WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUBS WITH SHOWERS. MATERIAL OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OR SHATTER RESISTANT.
H. ALL SLIDING DOORS AT SHOWERS OR BATHTUB SHALL BE SAFETY GLAZING IN AZARDOUS LOCATION INDICATED ON PLANS.
I. ALL EXTERIOR DOORS SHALL HAVE A 1" MAXIMUM THRESHOLD ABOVE LANDING.
J. <E> WATER HEATER 50 GAL.(GAS)
K. <N> 35,000 BTU/HR WILLIAMS, WALL FURNACE, OR EQUAL.
L. ALL WIRING SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE.
M. ALL ELECTRICAL SYSTEMS GROUND TO BE PROVIDED PER NEC, ART.
N. ALL HOSE BIBS MUST BE PROTECTED BY AN ANTI-SIPHON DEVICE UPC 603.3.7.
O. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE AFCI. (ART. 210.12(B) CEC)
P. KITCHEN TO HAVE 2-20 AMP SMALL APPLIANCE DEDICATED BRANCH CIRCUITS (CEC SECTION 210.52 B.3), AND LAUNDRY AND BATHROOM FACILITIES SHALL HAVE AT LEAST 1-20 AMP DEDICATED BRANCH CIRCUIT (CEC SECTION 210.52 D.F.).
Q. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' FROM AN OUTLET. (CEC SECTION 210.52(A)(1))
R. ALL 125-VOLT, 15 AND 20 AMP OUTLETS SHALL BE TAMPER-RESISTANT AS PER CEC SECTION 210.52.
S. A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTERTOP SPACE 12 INCHES OR WIDER SO THAT NO POINT IS MORE THAN 24 INCHES FROM AN OUTLET. (CEC SECTION 210.52(C)(1-9))
T. KITCHEN TO HAVE 2-20 AMP SMALL APPLIANCE DEDICATED BRANCH CIRCUITS (CEC SECTION 210.52 B.3), AND LAUNDRY AND BATHROOM FACILITIES SHALL HAVE AT LEAST 1-20 AMP DEDICATED BRANCH CIRCUIT (CEC SECTION 210.52 D.F.).
U. THE OPENING AROUND GAS VENTS, DUCTS, AND PIPES AT CEILING SHALL HAVE FIREBLOCKING PER UBC 708.2.1.
V. <N> 22"x30" ATTIC ACCESS. TIGHT-FITTING WETHER STRIP 1-3/8" MIN.
W. CLOTHES CLOSET LAMPS SHALL BE ENCLOSED IF INCASED TYPE. LIGHT FIXTURE CLEARANCES SHALL CONFORM TO CEC 410-8.
X. AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH 1/4" MINIMUM- AND 1/2" MAXIMUM-SIZED OPENINGS IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS. (S R303.5 CRC)
Y. PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH-EFFICACY, OR 50% OF TOTAL WATTAGE CAN BE LOW EFFICACY. ALL HIGH & LOW EFFICACY LIGHTING MUST BE CONTROLLED SEPARATELY. TITLE 24 (PART 6), SECTION 150(K) 8
Z. PERMANENTLY INSTALLED LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, CLOSETS (MORE THAN 70 SQ. FT.), AND UTILITY ROOMS SHALL BE HIGH EFFICACY OR MANUAL-ON OCCUPANCY SENSOR. TITLE 24 (PART 6), SECTION 150(K) 10
AA. ALL OTHER INTERIOR ROOMS (E.G., LIVING ROOM, DINING ROOM, BEDROOMS, HALLWAYS, ETC.), EXCEPT IN DETACHED STORAGE BUILDINGS LESS THAN 1000 SQ. FT., SHALL BE HIGH EFFICACY, MANUAL-ON OCCUPANCY SENSOR OR DIMMER. TITLE 24 (PART 6), SECTION 150(K) 11
AB. OUTDOOR LIGHTING ATTACHED TO BUILDINGS SHALL BE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR AND PHOTOCONTROL NOT HAVING AN OVERRIDE OR BYPASS SWITCH. TITLE 24, SECTION 150(K) 13
AC. KITCHEN HOODS SHALL HAVE A MINIMUM VENTILATION RATE OF 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS. BATHROOMS SHALL HAVE A

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OWNER:
GONZALEZ CARMELO

PROJECT:
SAN NICOLAS DON VICENTE DR. GREENFIELD, CA

CODES:
 CBC 2013
 Title 24 Part 2
 CRC 2013
 Title 24 Part 2.5
 CEC 2013
 Title 24 Part 3
 CMC 2013
 Title 24 Part 4
 CPC 2013
 Title 24 Part 5
 CEEC 2013
 Title 24 Part 6
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 S15 STRUCTURALS
 TILE 24(ENERGY'S)

REVISIONS:

DATE:
 JUNE-19-2014
 DRAWN:
 E.ECKHAUS/F.BALDERAS
 OR
2014-031

SHEET:
A2

FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Prerequisites and electives ¹		Enforcing Agency	Installer or Designer	Third party
		Tier 1	Tier 2			
Elevators, Escalators and Other Equipment						
Innovative Concepts and Local Environmental Conditions						
A4.213.1 Items in this section are necessary to address innovative concepts or local environmental conditions.						
Item 1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
WATER EFFICIENCY AND CONSERVATION						
Indoor Water Use						
A4.303.1 Indoor water use shall be reduced by at least 20 percent using one of the following methods: 1. Water saving fixtures or flow restrictors shall be used. 2. A 20 percent reduction in baseline water use shall be demonstrated.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7/01/2011						
A4.303.2 When using the calculation method specified in Section 4.303.1, multiple showerheads shall not exceed maximum flow rates.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7/01/2011						
A4.303.3 Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with specified performance requirements.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7/01/2011						
A4.303.4 Kitchen faucets and dishwashers shall comply with this section. Tier 1. The maximum flow rate at a kitchen sink faucet shall not be greater than 1.5 gallons per minute at 60 psi. Tier 2. In addition to the kitchen faucet requirements for Tier 1, dishwashers in Tier 2 buildings shall be ENERGY STAR qualified and not use more than 5.8 gallons of water per cycle.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.303.2 Nonwater supplied urinals or waterless toilets are installed.	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Water Use						
A4.304.1 Automatic irrigation systems controllers installed at the time of final inspection shall be weather-based.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.304.1 Install a low-water consumption irrigation system which minimizes the use of spray type heads.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.304.2 A rainwater capture, storage and re-use system is designed and installed.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.304.3 A water budget shall be developed for landscape irrigation.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

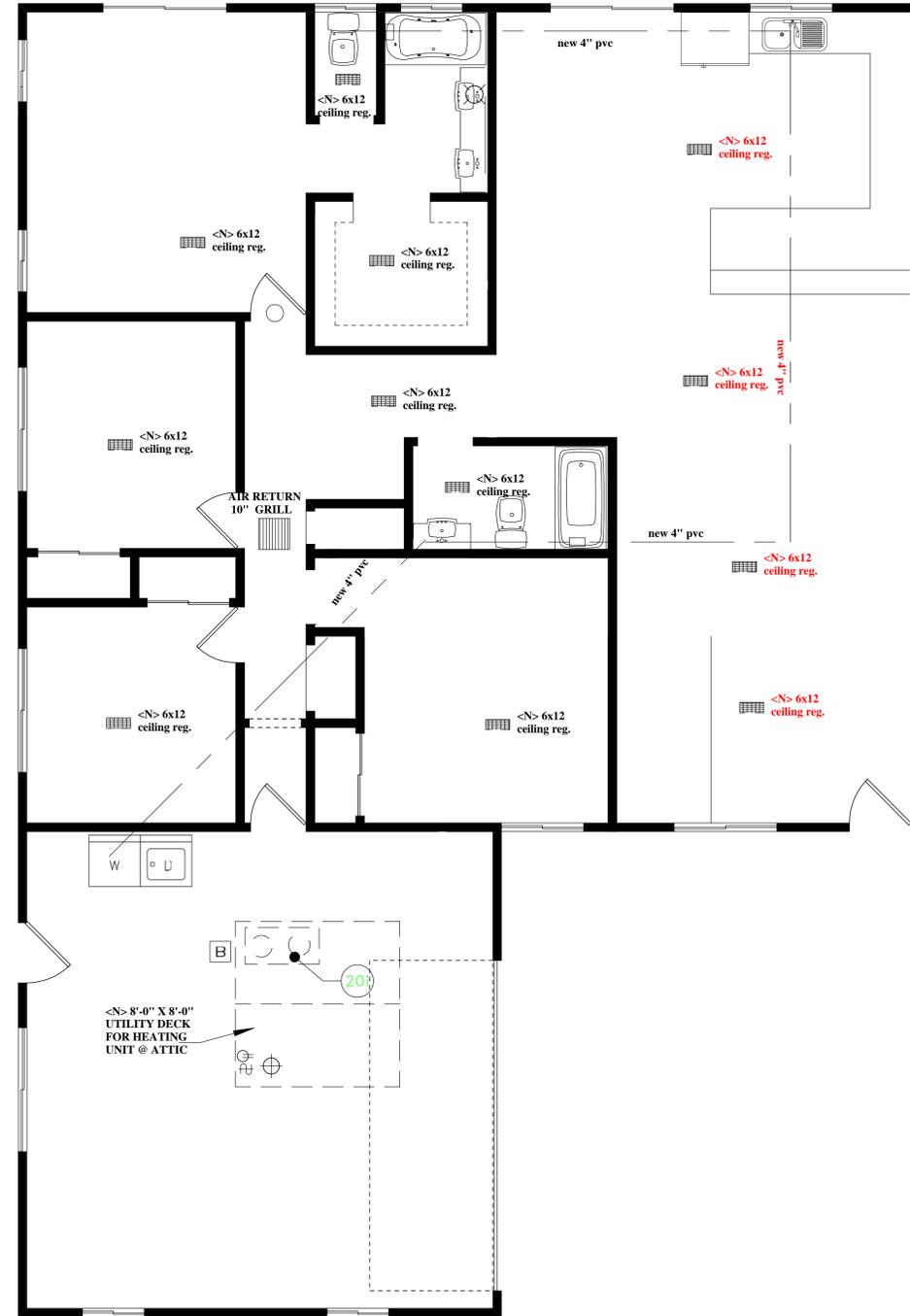
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FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Prerequisites and electives ¹		Enforcing Agency	Installer or Designer	Third party
		Tier 1	Tier 2			
A4.304.4 Provide water efficient landscape irrigation design that reduces the use of potable water. Tier 1. Does not exceed 65 percent of ETo times the landscape area. Tier 2. Does not exceed 60 percent of ETo times the landscape area.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.304.5 A landscape design is installed which does not utilize potable water.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
WATER REUSE SYSTEMS						
A4.305.1 Piping is installed to permit future use of a graywater irrigation system served by the clothes washer or other fixtures.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.305.2 Recycled water piping is installed.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.305.3 Recycled water is used for landscape irrigation.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Innovative Concepts and Local Environmental Conditions						
A4.306.1 Items in this section are necessary to address innovative concepts or local environmental conditions.						
Item 1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY						
Foundation Systems						
A4.403.1 A Frost-Protected Shallow Foundation (FPSF) is designed and constructed.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.403.2 Cement use in foundation mix design is reduced. Tier 1. Not less than a 20 percent reduction in cement use. Tier 2. Not less than a 25 percent reduction in cement use.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Efficient Framing Techniques						
A4.404.1 Beams and headers and trimmers are the minimum size to adequately support the load.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.404.2 Building dimensions and layouts are designed to minimize waste.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.404.3 Use premanufactured building systems to eliminate solid sawn lumber whenever possible.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.404.4 Material lists are included in the plans which specify material quantity and provide direction for on-site cuts.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

continued

FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Prerequisites and electives ¹		Enforcing Agency	Installer or Designer	Third party
		Tier 1	Tier 2			
Material Sources						
A4.405.1 One or more of the following building materials, that do not require additional resources for finishing are used: 1. Exterior trim not requiring paint or stain 2. Windows not requiring paint or stain 3. Siding or exterior wall coverings which do not require paint or stain	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.405.2 Floors that do not require additional coverings are used including but not limited to stained, natural or stamped concrete floors.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.405.3 Postconsumer or preconsumer recycled content value (RCV) materials are used on the project. Tier 1. Not less than a 10 percent recycled content value. Tier 2. Not less than a 15 percent recycled content value.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.405.4 Renewable source building products are used.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Enhanced Durability and Reduced Maintenance						
A4.406.1 Joints and openings. Similar spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Resistance and Moisture Management						
A4.407.1 Install foundation and landscape drains.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.2 Install gutter and downspout systems to route water at least 5 feet away from the foundation or connect to landscape drains which discharge to a dry well, sump, bioswale, rainwater capture system or other approved on-site location.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.3 Provide flashing details on the building plans and comply with accepted industry standards or manufacturer's instructions.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.4 Protect building materials delivered to the construction site from rain and other sources of moisture.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.5 In Climate Zone 16 an ice/water barrier is installed at roof valleys, eaves and wall to roof intersections.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.6 Exterior doors to the dwelling are protected to prevent water intrusion.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.7 A permanent overhang or awning at least 2 feet in depth is provided.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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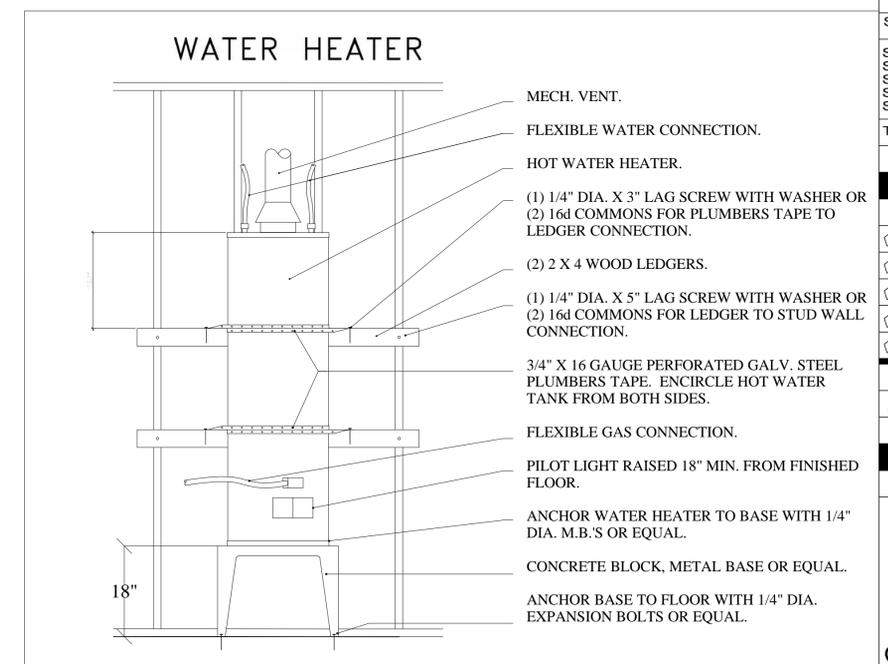
MECHANICAL NOTES:

- All heating and/or cooling systems shall have an automatic thermostat with a clock mechanism that shuts the system off during period of nonuse (CEC Sec. 150m).
- All air-distribution system ducts shall be either insulated to a minimum of R-4.2 or be enclosed entirely in conditioned space. Openings shall be sealed with mastic tape, aerosol sealant, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B (CEC Sec. 150m).
- Building cavities, supporting platforms for air handlers shall not be used for conveying conditioned air. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross sectional area of the ducts (CES Sec. 150m).
- 1. Compartment dimension 12" wider that unit 3" minimum clear on sides and back, 6" minimum clear from front to combustion air intake. UMC Sec. 315.1.
- 2. Combustion air from attic through 26-galvanized steel sleeve to 6" above ceiling joists without a screen. Provide adequate openings to attic. UMC Section 740.
 - 1A. Attic access minimum 30" x 30" not over 20' from equipment. Permit No. 54389
 - 2A. Unobstructed passage 24" wide with solid continuous flooring from access to equipment/control panel.
 - 3A. A level, unobstructed work platform minimum 30" in front of equipment with 30" headroom.
 - 4A. Light over equipment with switch at access.
 - 5A. Air supply openings of 2 square inch per 1,000 BTU for blower types and 7 square inch per 1,000 BTU for gravity feed type.

SECTION 4.410
BUILDING MAINTENANCE AND OPERATION

4.410.1 Operation and maintenance manual. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
 - Roof and yard drainage, including gutters and downspouts.
 - Space conditioning systems, including condensers and air filters.
 - Landscape irrigation systems.
 - Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30–60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.



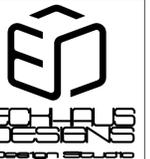
SECTION 4.507
ENVIRONMENTAL COMFORT

4.507.1 Openings. Whole house exhaust fans shall have insulated louvers or covers which close when the fan is off. Covers or louvers shall have a minimum insulation value of R-4.2.

4.507.2 Heating and air-conditioning system design. Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ACCA Manual J, ASHRAE handbooks or other equivalent design software or methods.
- Duct systems are sized according to ACCA 29-D Manual D, ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ACCA 36-S Manual S or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.



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OWNER
GONZALEZ CARMELO

PROJECT
SAN NICOLAS
DON VICENTE DR.
GREENFIELD, CA

CODES:
CBC 2013
Title 24 Part 2
GRC 2013
Title 24 Part 2.5
CEC 2013
Title 24 Part 3
CMC 2013
Title 24 Part 4
CPC 2013
Title 24 Part 5
CEC 2013
Title 24 Part 6
CFC 2013
Title 24 Part 9
CALGreen 2013
Title 24 Part 11

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TILE 24(ENERGY'S)

REVISIONS

DATE
JUNE-19-2014
DRAWN
E.ECKHAUS/F.BALDERAS
JOB
2014-031

SHEET

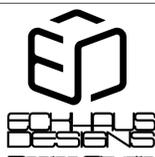
A3
CAL-GREEN

PERFORMANCE CERTIFICATE: Residential (Part 3 of 5) CF-1R			
Project Name GONZALEZ AMBER RESIDENCE	Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input type="checkbox"/> Existing+ Addition/Alteration		
Date 7/1/2014			
ANNUAL ENERGY USE SUMMARY			
TDV (kBtu/ft ² -yr)	Standard Proposed Margin		
Space Heating	19.62 7.68 11.96		
Space Cooling	0.98 5.09 4.12		
Fans	3.08 3.17 -0.09		
Domestic Hot Water	20.18 20.18 0.00		
Pumps	0.00 0.00 0.00		
Totals	43.86 36.10 7.75		
Percent Better Than Standard:	17.7 %		
BUILDING COMPLIES - NO HERS VERIFICATION REQUIRED			
Building Front Orientation: (SE) 135 deg	Ext. Walls/Roof (SE)	Wall Area	Fenestration Area
Number of Dwelling Units: 1.00		163	45
Fuel Available at Site: Natural Gas	(SW)	320	52
Raised Floor Area: 0	(NW)	351	99
Slab on Grade Area: 1,753	(NE)	320	50
Average Ceiling Height: 8.0	Roof	1,753	0
Fenestration Average U-Factor: 0.37			246
Average SHGC: 0.29		Fenestration/CFA Ratio:	14.0 %
REMARKS			
STATEMENT OF COMPLIANCE			
This certificate of compliance lists the building features and specifications needed to comply with Title 24, Parts 1 the Administrative Regulations and Part 6 the Efficiency Standards of the California Code of Regulations.			
The documentation author hereby certifies that the documentation is accurate and complete.			
Documentation Author			
Company Enrique Eckhaus	Name ECKHAUS DESIGNS	Date 7/1/2014	
Address P.O. BOX 783	Phone 831-794-2461	Signed	
City/State/Zip SALINAS, CA		Date	
The individual with overall design responsibility hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application, and recognizes that compliance using duct design, duct sealing, verification of refrigerant charge, insulation installation quality, and building envelope sealing require installer testing and certification and field verification by an approved HERS rater.			
Designer or Owner (per Business & Professions Code)			
Company ECKHAUS DESIGNS	Name ENRIQUE ECKHAUS	Date	
Address P.O. BOX 783	Phone (831) 794 - 2461	Signed	
City/State/Zip CA, SALINAS 93902		License #	
EnergyPro 5.1 by EnergySoft User Number: 6167 RunCode: 2014-07-01T14:44:48 ID: 2014-31 Page 5 of 10			

MANDATORY MEASURES SUMMARY: Residential (Page 1 of 3) MF-1R	
Project Name GONZALEZ AMBER RESIDENCE	Date 7/1/2014
NOTE: Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. More stringent energy measures listed on the Certificate of Compliance (CF-1R, CF-1R-ADD, or CF-1R-ALT Form) shall supersede the items marked with an asterisk (*) below. This Mandatory Measures Summary shall be incorporated into the permit documents, and the applicable features shall be considered by all parties as minimum component performance specifications whether they are shown elsewhere in the documents or in this summary. Submit all applicable sections of the MF-1R Form with plans.	
Building Envelope Measures:	
§116(a)1: Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.	
§116(a)4: Fenestration products (except field-fabricated windows) have a label listing the certified U-Factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration that meets the requirements of §10-111(a).	
§117: Exterior doors and windows are weather-stripped; all joints and penetrations are caulked and sealed.	
§118(a): Insulation specified or installed meets Standards for Insulating Material. Indicate type and include on CF-6R Form.	
§118(i): The thermal emittance and solar reflectance values of the cool roofing material meets the requirements of §118(i) when the installation of a Cool Roof is specified on the CF-1R Form.	
§118(j): Minimum R-19 insulation in wood-frame ceiling or equivalent U-Factor.	
§150(a): Loose fill insulation shall conform with manufacturer's installed design labeled R-Value.	
§150(b): Minimum R-13 insulation in wood-frame wall or equivalent U-Factor.	
§150(c): Minimum R-13 insulation in raised wood-frame floor or equivalent U-Factor.	
§150(d): Air retarding wrap is tested, labeled, and installed according to ASTM E1677-95(2000) when specified on the CF-1R Form.	
§150(e): Mandatory Vapor barrier installed in Climate Zones 14 or 16.	
§150(f): Water absorption rate for slab edge insulation material alone without facings is no greater than 0.3%; water vapor permeance rate is no greater than 2.0 perm/inch and shall be protected from physical damage and UV light deterioration.	
Fireplaces, Decorative Gas Appliances and Gas Log Measures:	
§150(e)1A: Masonry or factory-built fireplaces have a closable metal or glass door covering the entire opening of the firebox.	
§150(e)1B: Masonry or factory-built fireplaces have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and light-fitting damper and/or a combustion-air control device.	
§150(e)2: Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.	
Space Conditioning, Water Heating and Plumbing System Measures:	
§110-§113: HVAC equipment, water heaters, showerheads, faucets and all other regulated appliances are certified by the Energy Commission.	
§113(c)5: Water heating recirculation loops serving multiple dwelling units and High-Rise residential occupancies meet the air release valve, backflow prevention, pump isolation valve, and recirculation loop connection requirements of §113(c)5.	
§115: Continuously burning pilot lights are prohibited for natural gas; fan-type central furnaces, household cooking appliances (appliances with an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt), and pool and spa heaters.	
§150(h): Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA.	
§150(i): Heating systems are equipped with thermostats that meet the setback requirements of Section 112(c).	
§150(j)1A: Storage gas water heaters rated with an Energy Factor no greater than the federal minimal standard are externally wrapped with insulation having an installed thermal resistance of R-12 or greater.	
§150(j)1B: Unfired storage tanks, such as storage tanks or backup tanks for solar water-heating system, or other indirect hot water tanks have R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.	
§150(j)2: First 5 feet of hot and cold water pipes closest to water heater tank, non-recirculating systems, and entire length of recirculating sections of hot water pipes are insulated per Standards Table 150-B.	
§150(j)2: Cooling system piping (suction, chilled water, or brine lines), and piping insulated between heating source and indirect hot water tank shall be insulated to Table 150-B and Equation 150-A.	
§150(j)2: Pipe insulation for steam hydronic heating systems or hot water systems >15 psi, meets the requirements of Standards Table 123-A.	
§150(j)3A: Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.	
§150(j)3A: Insulation for chilled water piping and refrigerant suction lines includes a vapor retardant or is enclosed entirely in conditioned space.	
§150(j)4: Solar water-heating systems and/or collectors are certified by the Solar Rating and Certification Corporation.	
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MANDATORY MEASURES SUMMARY: Residential (Page 2 of 3) MF-1R	
Project Name GONZALEZ AMBER RESIDENCE	Date 7/1/2014
§150(m)1: All air-distribution system ducts and plenums installed, are sealed and insulated to meet the requirements of CMC Sections 601, 602, 603, 604, 605 and Standard 6-5; supply-air and return-air ducts and plenums are insulated to a minimum installed level of R-4.2 or enclosed entirely in conditioned space. Openings shall be sealed with mastic, tape or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape shall be used.	
§150(m)1: Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.	
§150(m)2: Joints and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.	
§150(m)7: Exhaust fan systems have back draft or automatic dampers.	
§150(m)8: Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers.	
§150(m)9: Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Cellular foam insulation shall be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation that can cause degradation of the material.	
§150(m)10: Flexible ducts cannot have porous inner cores.	
§150(o): All dwelling units shall meet the requirements of ANSI/ASHRAE Standard 62.2-2007 Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings. Window operation is not a permissible method of providing the Whole Building Ventilation required in Section 4 of that Standard.	
Pool and Spa Heating Systems and Equipment Measures:	
§114(a): Any pool or spa heating system shall be certified to have: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater; a permanent weatherproof plate or card with operating instructions; and shall not use electric resistance heating or a pilot light.	
§114(b)1: Any pool or spa heating equipment shall be installed with at least 36" of pipe between filler and heater, or dedicated suction and return lines, or built-up connections for future solar heating.	
§114(b)2: Outdoor pools or spas that have a heat pump or gas heater shall have a cover.	
§114(b)3: Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.	
§150(p): Residential pool systems or equipment meet the pump sizing, flow rate, piping, filters, and valve requirements of §150(p).	
Residential Lighting Measures:	
§150(k)1: High efficacy luminaires or LED Light Engine with Integral Heat Sink has an efficacy that is no lower than the efficacies contained in Table 150-C and is not a low efficacy luminaire as specified by §150(k)2.	
§150(k)3: The wattage of permanently installed luminaires shall be determined as specified by §130(d).	
§150(k)4: Ballasts for fluorescent lamps rated 13 Watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.	
§150(k)5: Permanently installed night lights and night lights integral to a permanently installed luminaire or exhaust fan shall contain only high efficacy lamps meeting the minimum efficacies contained in Table 150-C and shall not contain a line-voltage socket or line-voltage lamp holder; OR shall be rated to consume no more than five watts of power as determined by §130(d), and shall not contain a medium screw-base socket.	
§150(k)6: Lighting integral to exhaust fans, in rooms other than kitchens, shall meet the applicable requirements of §150(k).	
§150(k)7: All switching devices and controls shall meet the requirements of §150(k)7.	
§150(k)8: A minimum of 50 percent of the total rated wattage of permanently installed lighting in kitchens shall be high efficacy. EXCEPTION: Up to 50 watts for dwelling units less than or equal to 2,500 ft ² or 100 watts for dwelling units larger than 2,500 ft ² may be exempt from the 50% high efficacy requirement when all low efficacy luminaires in the kitchen are controlled by a manual on occupant sensor, dimmer, energy management system (EMCS), or a multi-scene programmable control system; and all permanently installed luminaires in garages, laundry rooms, closets greater than 70 square feet, and utility rooms are high efficacy and controlled by a manual-on occupant sensor.	
§150(k)9: Permanently installed lighting that is internal to cabinets shall use no more than 20 watts of power per linear foot of illuminated cabinet.	
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MANDATORY MEASURES SUMMARY: Residential (Page 3 of 3) MF-1R	
Project Name GONZALEZ AMBER RESIDENCE	Date 7/1/2014
§150(k)10: Permanently installed luminaires in bathrooms, attached and detached garages, laundry rooms, closets and utility rooms shall be high efficacy.	
EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by a manual-on occupant sensor certified to comply with the applicable requirements of §119.	
EXCEPTION 2: Permanently installed low efficacy luminaires in closets less than 70 square feet are not required to be controlled by a manual-on occupancy sensor.	
§150(k)11: Permanently installed luminaires located in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, closets, and utility rooms shall be high efficacy luminaires. EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided they are controlled by either a dimmer switch that complies with the applicable requirements of §119, or by a manual-on occupancy sensor that complies with the applicable requirements of §119. EXCEPTION 2: Lighting in detached storage building less than 1000 square feet located on a residential site is not required to comply with §150(k)11.	
§150(k)12: Luminaires recessed into insulated ceilings shall be listed for zero clearance insulation contact (IC) by Underwriters Laboratories or other nationally recognized testing/rating laboratory, and have a label that certifies the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283; and be sealed with a gasket or caulk between the luminaire housing and ceiling.	
§150(k)13: Luminaires providing outdoor lighting, including lighting for private patios in low-rise residential buildings with four or more dwelling units, entrances, balconies, and porches, which are permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy. EXCEPTION 1: Permanently installed outdoor low efficacy luminaires shall be allowed provided that they are controlled by a manual on/off switch, a motion sensor not having an override or bypass switch that disables the motion sensor, and one of the following controls: a photocell not having an override or bypass switch that disables the photocell; OR an astronomical time clock not having an override or bypass switch that allows the luminaire to be always on EXCEPTION 2: Outdoor luminaires used to comply with Exception 1 to §150(k)13 may be controlled by a temporary override switch which bypasses the motion sensing function provided that the motion sensor is automatically reactivated within six hours. EXCEPTION 3: Permanently installed luminaires in or around swimming pool, water features, or other location subject to Article 680 of the California Electric Code need not be high efficacy luminaires.	
§150(k)14: Internally illuminated address signs shall comply with Section 148; OR not contain a screw-base socket, and consume no more than five watts of power as determined according to §130(d).	
§150(k)15: Lighting for parking lots and carports with a total of for 8 or more vehicles per site shall comply with the applicable requirements in Sections 130, 132, 134, and 147. Lighting for parking garages for 8 or more vehicles shall comply with the applicable requirements of Sections 130, 131, 134, and 146.	
§150(k)16: Permanently installed lighting in the enclosed, non-dwelling spaces of low-rise residential buildings with four or more dwelling units shall be high efficacy luminaires. EXCEPTION: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by an occupant sensor(s) certified to comply with the applicable requirements of §119.	
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OWNER
GONZALEZ CARMELO

PROJECT
SAN NICOLAS DON VICENTE DR. GREENFIELD, CA

CODES.
CBC 2013
Title 24 Part 2
CRC 2013
Title 24 Part 2.5
CFC 2013
Title 24 Part 3
CMC 2013
Title 24 Part 4
CPC 2013
Title 24 Part 5
CEEC 2013
Title 24 Part 6
CFC 2013
Title 24 Part 9
CAL Green 2013
Title 24 Part 11

INDEX PLANS.
A1-1 NOTES
A1 SITE PLAN
A2 FLOOR PLAN
S1 FOUNDATION P.
S1 ROOF FMG. P.
S10
S11
S12
S13
S15 STRUCTURALS
TILE 24(ENERGY'S)

REVISIONS

DATE
JUNE-19-2014
DRAWN
E.ECKHAUS/F.BALDERAS
JOB
2014-031

SHEET.

T24

Attachment C
Conditions of Approval (Resolution 2005-13)

CITY OF GREENFIELD

RESOLUTION NO. 2005-23

*RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
GREENFIELD ADOPTING THE NEGATIVE
DECLARATION AND APPROVING THE PLANNED UNIT
DEVELOPMENT AND A TENTATIVE MAP FOR A
RESIDENTIAL SUBDIVISION OF A 2.965 ACRE SITE INTO
17 LOTS*

Project: Sandoval Planned Unit Development and Subdivision
APN(s): 109-202-003

WHEREAS, an application for a Planned Unit Development for the development of 17 single-family residences and supporting parkland and infrastructure on a 2.965-acre site was submitted to the City of Greenfield Planning and Building Inspection Department; and

WHEREAS, Jerry Sandoval on behalf of the property owner, has also made application to the City of Greenfield Planning and Building Inspection Department to subdivide the 2.965-acre site into 17 single-family lots, park, stormwater percolation pond, and appropriate street dedication;

WHEREAS, the Planning Commission has considered, at a duly noticed public hearing, the Planned Unit Development and Tentative Map application and the Initial Study and Negative Declaration prepared in conformance with the State CEQA Statutes and Guidelines to identify the potential environmental impacts of the PUD, subdivision, and subsequent development with residential uses; and

WHEREAS, the Planning Commission made a recommendation for approval to the City Council of the City of Greenfield regarding the proposed subdivision, the Planned Unit Development and the associated environmental review prior to the City Council taking action on the application; and

WHEREAS, the City Council has considered, at a duly noticed public hearing, the recommendation of the Planning Commission to approve the Planned Unit Development and Tentative Map application and the Initial Study and Negative Declaration prepared in conformance with the State CEQA Statutes and Guidelines to identify the potential environmental impacts of the Planned Unit Development, subdivision, and subsequent development with residential uses.

NOW, THEREFORE, BE IT HEREBY RESOLVED, that the City Council of the City of Greenfield has considered the recommendation made by the Planning Commission and the proposed Negative Declaration and all written and verbal evidence

regarding this application at the public hearing has made the following findings regarding the proposed application:

1. FINDING: That the proposed Planned Unit Development will demonstrate creative and innovative design, provide community amenities, and develop a project that is considered superior to that which might have been developed under the strict application of the Zoning Ordinance. The smaller lot sizes will provide a unique and relatively affordable alternative to standard single-family residences and will offer homeownership opportunities to an expanded populace. The requested variations are appropriate in light of the additional design and community amenities that are achieved through the greater project.
2. FINDING: That the proposed subdivision's design and improvement is substantially in conformance with the City of Greenfield's Zoning Ordinance and other Municipal Code requirements and standards.
 - (a) The proposed new subdivision is consistent with the City's zoning Ordinance in that the creation of medium density residential neighborhoods reflects the intent of the ordinance to encourage increased density and efficient use of residential land.
 - (b) A Planned Unit Development has been approved as part of this project and the individual zoning standards proposed in this subdivision have been deemed to be appropriate for the project. As such, the project is not in conflict with the Zoning Ordinance.
 - (c) The subdivision includes public streets, new water, sewer, storm drain, public utility lines, park, and detention facilities designed in conformance with City Standards. All improvements to City utilities will be constructed to City standards both on and off the site. Those improvement plans will be subject to City Council Approval with the Final Map.
3. FINDING: That the site is physically suitable for the type and density of development proposed.
 - (a) The site is nearly flat, vacant and located outside the flood plain. Its proximity to existing development and City services make infrastructure improvements to serve the site feasible economically and physically.
 - (b) The Planning Commission and City Council has reviewed the designs of the single-family homes, as part of the Planned Unit Development review, to ensure that the design is appropriate for the proposed density.
 - (c) A Public Street (Elm Avenue) already exists along the frontage of the site and it will be improved as part of this project, with a new street connecting to it on the south side of the proposed subdivision.
4. FINDING: That the subdivision design and its proposed improvements will not cause substantial environmental damage, nor substantially or unavoidably injure fish or wildlife or their habitat.
 - (a) Construction of the subdivision and associated public improvements is not expected to have a negative impact on the natural environment, as

determined by the Initial Study and Negative Declaration prepared for the project proposal.

- (b) The Initial Study identified no native habitat for fish and wildlife on the site, which has been used for row crops. Best available technology, including the storm drainage detention basin, will be used to ensure that there are no water quality impacts from drainage on the site.
 - (c) Mitigation measures have been included to reduce geotechnical, erosion, air quality, and traffic impacts to a less-than-significant level.
5. FINDING: The establishment, maintenance and operation of the subdivision and type of its improvements will not, under the circumstances be detrimental to health, safety, peace, morals, comfort and general welfare of the persons residing or working in the neighborhood of the proposed development, or to its future residents, or to the general welfare of the City.
- (a) This project has been reviewed by all responsible, City, County, and Regional agencies, and conditions of approval have been applied as deemed necessary by the Planning and Public Works Staff to ensure the continuing public health, safety and orderly development of the surrounding area.
 - (b) All infrastructure has been reviewed and a determination has been made that the site can and will be provided with the required municipal services and installation required for project approval.
6. FINDING: That the payment of school impact fees and provision of park space is an adequate measure for the accommodation of school and park and recreation facilities for residents of this site and those in its vicinity.
- (a) A total of 0.243 acres of park space is required for a development of this magnitude. This park space and in-lieu fees will provide adequate recreational opportunities for the new residents of this development.
 - (b) The school impact fees from this project will help to address school impacts from the residential development of the site.

BE IT FURTHER RESOLVED that the City Council adopted the Negative Declaration and approved the proposed Planned Unit Development and Tentative Map to create 17 single-family lots, a detention basin, and a park on 2.965 acres of land on Elm Avenue to serve the housing needs of its population.

PASSED AND ADOPTED by the City Council of the City of Greenfield, at a regularly scheduled meeting of the City Council held on the 5th day of April 2005, by the following vote:

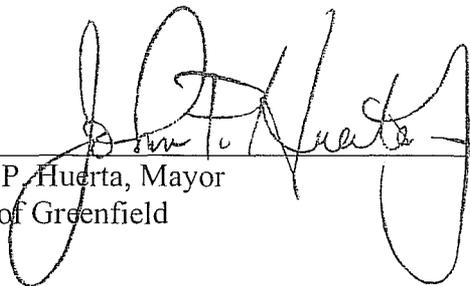
AYES, and all in favor, therefore, Councilmembers: Mayor Pro-tem Teneyuque, Councilmembers Moreno, Vazquez and Gonzalez

NOES, Councilmembers: None

ABSENT, Councilmembers: None



Ann Rathbun, City Clerk
City of Greenfield



John P. Huerta, Mayor
City of Greenfield

CITY OF GREENFIELD
EXHIBIT "A"
CONDITIONS OF APPROVAL

SANDOVAL PUD/SUBDIVISION VESTING TENTATIVE MAP
SUB 2005-01
City Council – April 5, 2005

The applicable mitigation measures which are contained in the Final Mitigation Monitoring and Reporting Program shall be considered additional conditions of approval for this proposal, and are incorporated herein and are also attached in the form of the Mitigation Monitoring Reporting Program (MMRP).

GENERAL

1. The subdivider shall comply with all of the provisions of the approved Tentative Map, all pertinent provisions of the Municipal Code, including, but not limited to applicable provisions of Chapter 16 and Title 19 "Impact Mitigation Fees" for sewer, water, traffic and police services, as well as payment to the School District for school impact fees. No permits or work shall commence on the subject property until approval of the final map unless otherwise approved by the Public Works Director. Impact fees would be due prior to grading and building permit issuance. Impact fees shall include sewer, water, traffic, police, school, fire, park impact, community center, and general facility fees. These fees are due prior to occupancy permit issuance and the fee amounts are based on what is in place by the City at the time of building permit issuance
2. Permanent monuments shall be furnished and installed by the subdivider as required by the Director of Public Works and detailed in Section 16.20.050 of the Municipal Code.
3. **Mitigation Measure 8.2** All drainage and erosion control plans submitted for review and approval to the Building Official/Planning Manager shall incorporate measures effective from October 1 through March 31 that ensures that during construction, eroded or exposed soils are maintained on-site during storm events.
4. **Mitigation Measure 11.1** To reduce the effects of construction noise, the applicant shall require construction contractors to limit high noise-producing activities to the least noise-sensitive times of day and week (e.g., 7:00 am to 6:00 pm, Monday through Friday). The applicant may request permission to continue with construction through the weekend. If made, said request shall be submitted in writing for review and approval by the Director of Public Works and shall be pursuant to the limitations that the Public Works Director determines are appropriate. The City Building Official/Planning Manager shall conduct monitoring of construction activities to ensure compliance with. . If any extremely loud noises (noises which exceed the NUC General Performance Standards for noise, Section 17.54.030) are to occur and are known of before hand (i.e.

continuous drilling and or large earthmoving 24 hour notice shall be given to all neighbors within 500 feet of the project site, as well as posting a notice on site.

PRIOR TO RECORDATION OF FINAL MAP

5. All plans and profiles of improvements shall be approved by the Director of Public Works and the City Engineer prior to the filing of the final map, and the construction of said improvements shall be in accordance with the City Specifications and shall be inspected by the Director of Public Works or his authorized agent, subject to fees appropriate for the services.
6. All utilities shall be placed underground and any associated easements for utilities shall be shown on the Final Map.
7. Fire hydrants shall be provided by the developer at locations within the subdivision to be approved by the Fire Chief, and shown on the Final Map.
8. The Developer and City shall enter into a Subdivision Improvement Agreement (to be approved by the City Manager) acceptable to the Director of Public Works and the City Engineer and approved by the City Council.
9. The developer shall prepare Subdivision Improvement Plans to be approved by the City Engineer and the Public Works Director. The Improvement Plans shall include all required on- and off-site public improvements including, but not limited to the utilities, fire hydrants, street lights, street landscaping, project fencing, water system, sanitary sewer system, storm water drainage system including the detention basin, and street improvements which include ¼ width street improvements including pavement to the existing pavement along Elm Avenue and over to 12th Street.
10. A Lighting and Landscaping Assessment District shall be prepared by the developer, subject to approval by the City Attorney and Public Works Director. All costs associated with the creation of the Assessment District by the City, shall be the responsibility of the developer. The Lighting and Landscaping Assessment District shall include an escalation clause to address increases in the future cost of maintenance and replacement. The developer shall be responsible to maintain the items included within the Lighting and Landscape District until the fees have been collected for the Assessment District.
11. The storm water detention/percolation pond must be designed, constructed and monitored in accordance with City regulations, subject to the final review and approval of the City Engineer and Public Works Director. The project's final design system will include routing of storm water runoff to off-site drainage facilities when the pond's design capacity is exceeded to avoid impacting adjacent lands. Curb and gutter shall be installed to the storm drain located near the corner of Elm Avenue and 12th Street to facilitate movement of water offsite when needed.

Storm water detention facilities shall be constructed at the beginning of the subdivision improvement construction process to collect runoff and sediment during the grading and construction on site. Final basin configuration shall include perimeter fencing and heavy landscaping. The basin shall be maintained through the required Lighting and Landscaping Assessment District.

12. All utility easements, including a Public Utilities Easement on the front of all of the lots for telephone, electric, cable, shall be provided on the Final Map. This configuration must meet the requirements of the utility companies and the Director of Public Works and/or City Engineer.
13. Prior to the City's acceptance of the Final Map, the Developer shall contact the Greenfield U.S. Postmaster to locate in the subdivision placement of "Neighborhood Delivery and Collection Boxes (NDCBU's). Any required easements shall be dedicated and shown on the Final Map within a public utility easement, as approved by City Staff and the Postmaster, Greenfield Post Office.
14. The project developer shall be required to install the following landscaping to be maintained by the Lighting and Landscaping Assessment District:
 - a. Street trees and ground cover in the planter strips along the new streets, where the number of 15-gallon street trees shall not be less than one tree per lot for the single family lots, and two trees per corner lot.
 - b. Landscaping on all sides of the detention basin.
 - c. A combination of turf, trees, shrubs, and structures in the proposed Neighborhood Park.

Prior to recording of the Final Map the developer shall submit for the approval of the Planning Commission, a Final Landscape Plan for the landscaping of the park, planting strips, and the detention basin. All landscaping shall utilize drought tolerant species and water efficient irrigation systems.

15. Fire hydrants spaced as required by the Fire Chief shall be provided by the developer at locations within the subdivision to be approved by the Fire Chief, and shown on the Final Map.
16. The reproducible Mylar and electronic files of the plans and profiles of said improvements shall be furnished to the Public Works Department and shall become the property of the City of Greenfield at the time of approval.
17. No permits or work shall commence on the subject property until approval of the final map unless otherwise approved by the Public Works Director.
18. Preparation of the final improvement plans and construction of the homes, flex buildings and non-residential structures shall proceed in compliance with all

applicable state and federal laws, City ordinances and the ordinances or regulations of other jurisdictions where applicable.

PRIOR TO THE ISSUANCE OF GRADING AND BUILDING PERMITS

19. The developer shall prepare Subdivision Improvement Plans to be approved by the City Engineer and the Public Works Director prior to issuance of grading or building permits. The Improvement Plans shall include all required on- and off-site public improvements including, but not limited to the water system, sanitary sewer system, storm water drainage system including a detention basin (if required), street improvements and other utilities, parking lot lights, street landscaping, and project fencing.
20. Prior to issuance of building or grading permits, plans showing how the sewer line at Elm Avenue will be linked to the subdivision shall be provided to the Director of Public Works for review and approval.
21. The proposed percolation basin shall demonstrate capacity for serving this subdivision. Design calculations shall be provided to the City Engineer and Public Works Director for review and approval along with detailed design, prior to submittal of the Final Map. The curb and gutter that shall be constructed to guide overflow to the Elm Avenue/12th Street storm drain shall be completed with street improvements which include ¼ width street improvements including pavement to the existing pavement along Elm Avenue and over to 12th Street
22. Obtain a easement and dedication agreement from the neighboring property owner to allow placement of the percolation basin on that part of their land as shown on the tentative map for the Sandoval Subdivision and as to be dedicated to the City through the final map. If neighbor does not allow for placement of the percolation basin as shown on the tentative map, then lot one shall be used for the purpose of percolation rather than for a detached single-family dwelling. Provide evidence to the Director of Public Works showing that permission was granted by the neighbor for the use of their property and that the area dedicated as percolation pond is dedicated to the City, as shown on the tentative map for the Sandoval Subdivision, as a percolation basin OR modify the final map and dedication to show the removal of Lot 1 as a residential housing unit and its development as a percolation basin .
23. A detailed soils report shall be prepared prior to site development by a qualified soils engineer and the recommendations of the engineer, as contained in the report, shall be followed for site preparation, grading, foundation support and structural loading designs so that all future site development designs shall be able to withstand earthquake ground movement as required by the most recent edition of the Uniform Building Code (UBC) consistent with the location of the projects in relation to known earthquake faults. All excavated and graded material shall be sufficiently watered, using non-potable water when logistically possible, to prevent excessive dust.

24. Site grading and the required detention basin shall be installed in accordance with the approved improvement plan, to collect runoff and sediment during the grading and construction on site.
25. The use of dust and litter control measures during all construction, as well as during construction of housing units shall be required. The measures proposed for use shall be submitted to the Public Works Director for approval. Developer shall provide \$5000.00 cash deposit with City to secure compliance with litter and dust control measures. This deposit shall be made before any construction or site preparation activity shall be allowed to begin. Since this project is across the street from Vista Verde Middle School this requirement will be strictly enforced. .
26. Prior to the issuance of building permits the developer or applicants shall pay all applicable fees, to be calculated using the fee scale in place at the time of building permit issuance, including impact fees for fire, and schools for each of the lots as they are developed. Prior to Certificate of Occupancy, all other required impact fees including but not limited to sewer, water, traffic, park, general facilities, community center and police impact fees shall be paid for each lot as developed.
27. In lieu park fees shall be required for the subdivision. The neighborhood park shall satisfy a portion of the park requirement. The neighborhood park shall be improved at the applicant's expense. The applicant shall pay the in-lieu fee, as calculated by the City Council, prior to the first occupancy permits being issued.
28. Existing on-site wells shall be capped and sealed consistent with state law and County of Monterey procedures. Septic Systems that may be present onsite shall be demolished according to Monterey County Health Standards..
29. The Public Works Director shall verify capacity of wastewater treatment and disposal facilities to the satisfaction of the Director of Public Works.

DURING CONSTRUCTION AND PRIOR TO FINAL BUILDING INSPECTION

30. **Mitigation Measure 3.1** Construction contractors shall implement a dust abatement program to be reviewed and approved by the Director of Public Works prior to issuance of building or grading permits. The program shall include the following:
 - Water all active construction sites at least twice daily. Frequency should be based on the type of operation, soil, and wind exposure.
 - Prohibit all grading activities during periods of high wind (over 15 mph).
 - Apply non-toxic soil stabilizers or cover storage piles and inactive construction areas (disturbed lands within construction projects that are unused for at least four consecutive days.)
 - Plant vegetative ground cover in disturbed areas as soon as possible.
 - Cover all trucks hauling dirt, sand, or loose materials, or maintain at least 2 feet of freeboard.

- Sweep streets if visible soil material is carried out from the construction site.
- Post a publicly visible sign that specifies the telephone number and person to contact regarding dust complaints. This person shall respond to complaints and take corrective action within 48 hours. The phone number of the Monterey Bay Unified Air Pollution Control District shall be visible to ensure compliance with Rule 402 (Nuisance).

31. **Mitigation Measure 5.1** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Greenfield Planning and Building Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

32. **Mitigation Measure 5.2** In the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the coroner of Monterey County has determined whether the remains are subject to the coroner's authority. This is in accordance with Section 7050.5 of the California Health and Safety Code. If the human remains are of Native American origin, the coroner must notify the Native American Heritage Commission within 24 hours of identification. Pursuant to Section 5097.98 of the Public Resource Code, the Native American Heritage Commission will identify a "Native American Most Likely Descendent" to inspect the site and provide recommendations for the proper treatment of the remains and any associated grave goods.

33. **Mitigation Measure 8.1** In order to reduce potential erosion and siltation issues associated with the project, the applicant shall construct curb and gutter improvements from the entry of the proposed development to the storm drain located on the corner of 12th Street and Elm Avenue to facilitate the movement of water away from the project site to the municipal storm drain system following a 25-year storm event and when the capacity of the onsite detention and percolation basin is exceeded. All required improvements shall be reviewed and approved by the Public Works Director prior to issuance of building permits. All improvements shall be completed prior to the issuance of certificates of occupancy. Prior to Certificates of Occupancy being issued, the project Developer shall be responsible for installing all required frontage improvements including ¾ width street completion, curb, gutter, and sidewalk, along the north side of Elm Avenue fronting the project property.

34. Prior to Certificates of Occupancy, the water system shall be designed and constructed in accordance with City standards and State law and shall be installed by the developer and accepted by the City.
35. Prior to Certificates of Occupancy, all water mains, sanitary sewers and their appurtenances, storm water drainage lines, and any other utilities to be located beneath the public street, shall be installed, with service laterals up to the property line for each individual lot included within the tract, prior to surfacing the streets.
36. Prior to the issuance of Certificates of Occupancy, all public improvements including the installation of landscaping, construction of the detention basin, installation of street improvements, installation of utilities, installation of fencing shall be completed to the satisfaction of the City Engineer, Public Works Director, and Planning Manager.
37. Installation and testing of the sewer lines, water systems and fire hydrants must be conducted in accordance with AWWA and standard specifications.
38. All grading within the boundaries of the subdivision shall be done under the direction and supervision of a soils engineer. Upon completion of all grading, a final soils report shall be submitted to the Public Works Department by the soils engineer, certifying compliance with the City's grading ordinance. The report shall include locations and elevations of field density tests, summaries of field and laboratory tests, and any other substantiating data developed by the soils engineer.
39. The developers and/or the Lighting and Landscaping Assessment District will be responsible for the maintenance of the detention basin, subject to inspection by the City to ensure proper operation and maintenance.
40. Prior to issuance of Certificates of Occupancy, the Developer shall install all required street name and traffic control signs as required, in accordance with the specification of the Public Works Director, the improvement plans, and the approval of the Police Chief.
41. The Building Official will confirm that all fixtures and appliances in the yards and structures shall be water conserving and low-flow, subject to the approval of the Building Official and consistent with the City's water conservation ordinance. Toilets shall have maximum water usage of 1.6 gallons per flush. Showers shall consume a maximum of 2.5 gallons per minute.
42. Compliance with the inclusionary housing ordinance is required.
43. The applicant shall record a deed restriction stating: "The property owner shall maintain all sod, grass, landscaping, street trees, and planter strips between the sidewalk and the roadway, in a positive aesthetic fashion as determined by the City of Greenfield Planning Department."